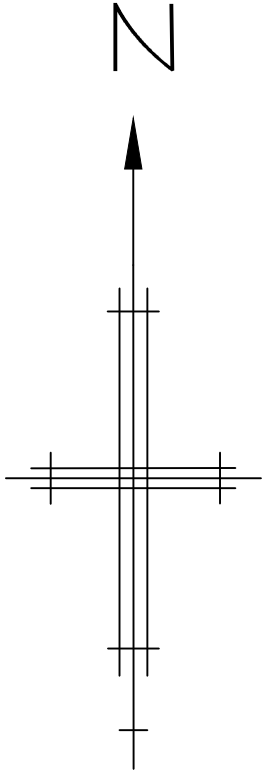


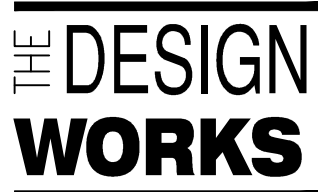
SCALE BAR ~ Meters



REV A – Scale Bar Added
REVISIONS

23/12/2020
DATE

Architectural
Design & Planning



32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
t: 07973 136876

TITLE
LOCATION PLAN

ADDRESS
23 HIGH STREET
ABBOTS LANGLEY WD5 0AA

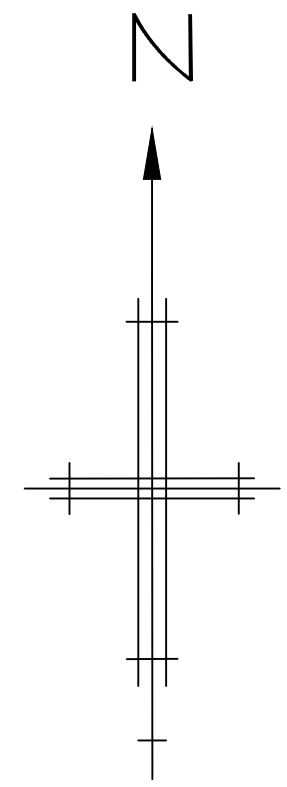
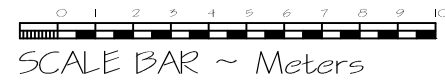
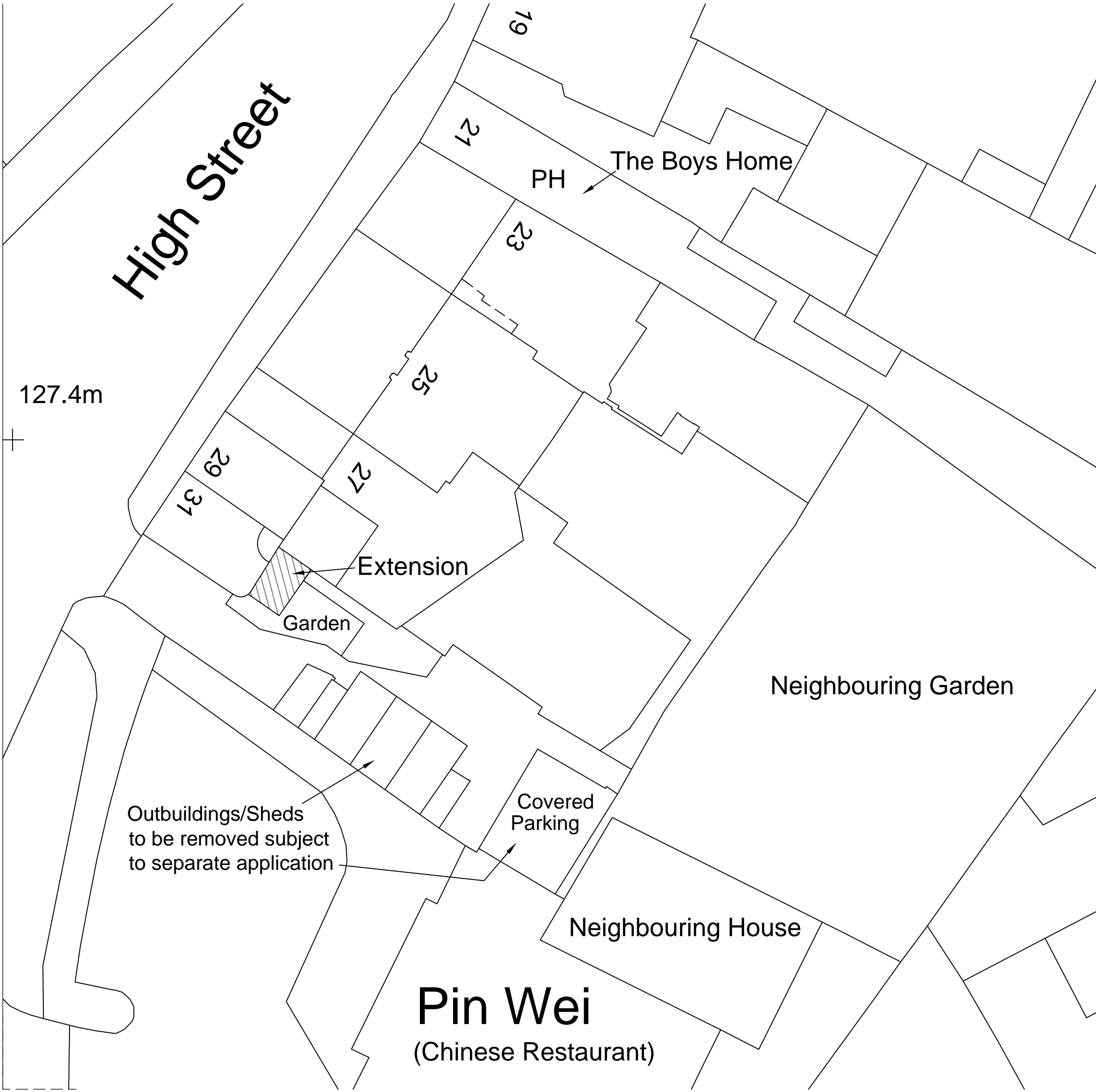
CLIENT
CHURCH DEVELOPMENT PARTNERSHIP

SCALE
1:1250

DATE
DEC'R 2020

DRAWING No. 200601/31/LPI

REV. A



127.4m

High Street

The Boys Home

PH

Extension

Garden

Neighbouring Garden

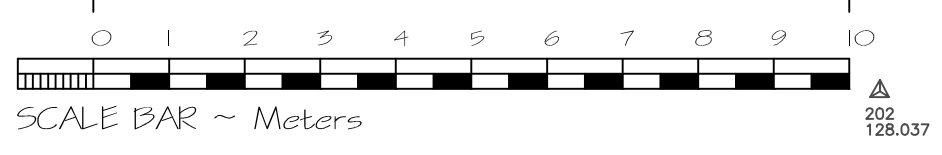
Covered Parking

Neighbouring House

Pin Wei
(Chinese Restaurant)

Outbuildings/Sheds
to be removed subject
to separate application

REVISIONS	DATE
Architectural Design & Planning 32 Grange Road Plymouth PL7 2HY t: 01752 341696 f: 07973 136876	
THE DESIGN WORKS	
TITLE SITE / BLOCK PLAN	
ADDRESS 23 HIGH STREET ABBOTS LANGLEY WD5 0AA	
CLIENT CHURCH DEVELOPMENT PARTNERSHIP	
SCALE A3 1:200 & 1:100	DATE DEC'R 2020
DRAWING No. 200601 / 31 / SPI	REV.



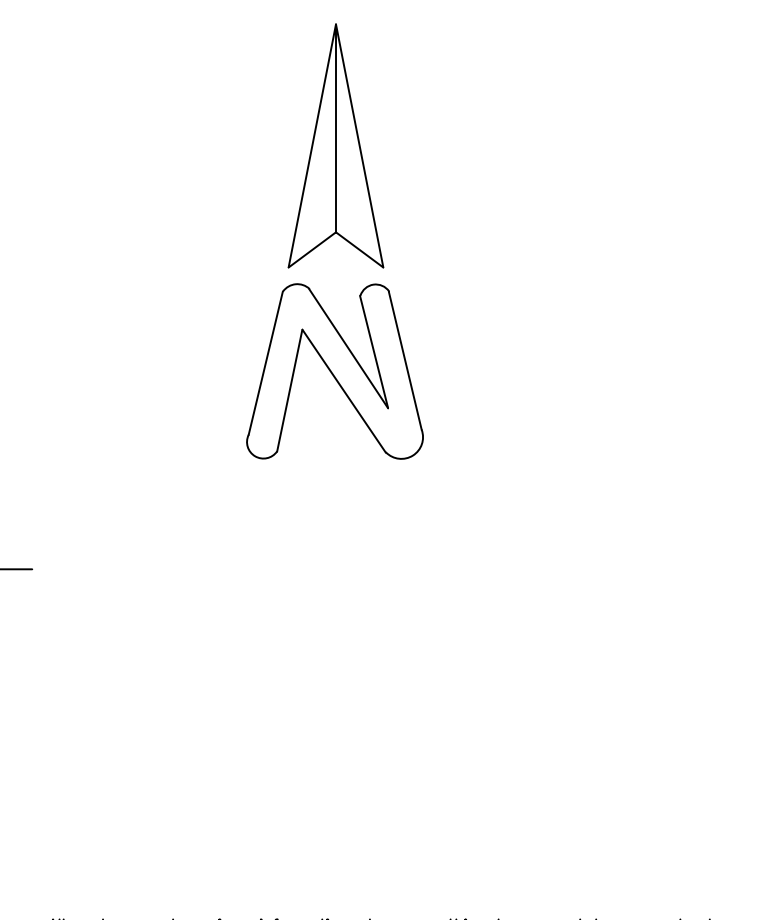
ABBREVIATIONS

AB	Air Brick	DH	Duct Height	PRF	Post & Rail Fence
B	Ball or Bottom	DP	Down Pipe	PWF	Post & Wire Fence
BB	Belted Beacon	EDC	Electric Control Box	R	Render
BD	Back Drop	ELEC	Electricity	RAD	Radiator
BH	Belted or Beam Height	ES	Electricity Pole	RC	Rodding Eye
BL	Bed Level	FB	Flower Bed	RCG	Rough Ground
BP	Brick Pile	FM	Fire Manifold	RSD	Road Sign
BRW	Brick Retaining Wall	FL	Floor Level	RSLJ	Rotted Slat Joint
BS	Bus Stop	GV	Gas Valve	RWP	Rain Water Pipe
BT	British Telecom	H	Height in Metres	S	Spread or Stone
BTB	BT Control Box	H	Height in Metres	SC	Step Cuck
BW	Black Wall	H	Height in Metres	SL	Skiff Level or Skylight
BWF	Black Wire Fence	HT	Height	SP	Arch Spring Height
CB	Close Board	IC	Insulation Cover	SPS	Stone Paving Slab
CBF	Close Boarded Fence	IL	Invert Level	SW	Stone Wall
CBW	Concrete Block Wall	IRF	Iron Rolling Fence	TSU	Traffic Control
CCB	Close T/C Control Box	IO	Iron Overlay	T	Tig Heights
CF	Cover Level	IP	Iron Pipe	TL	Traffic Light
CL	Chain Link Fence	LP	Lamp Post	TPS	Traffic Paving Slab
CLF	Chain Link Fence	MH	Manhole	UTL	Unstable To Lift
CLSF	Chain Link Security Fence	MK	Marker	V	Vent
CPF	Concrete Panel Fence	OV	Over Flow Pipe	VP	Vent Pipe
CPS	Concrete Paving Slab	OW	Overhead	W	Window
CR	Arch Crown Height	P	Post	WL	Water Level
CRW	Concrete Retaining Wall	PALF	Pedestals Fence	WM	Water Meter
CSU	Cable Support Up	PF	Picket Fence	WMF	Wire Mesh Fence
CTV	Cable Television	PIT	Pit	WPF	Wooden Post Fence
CW	Concrete Wall	PL	Pavement Light	WV	Water Valve
D	Diameter or Doors	PM	Parting Meter	ϕ	Diameter

LEVEL NOTE:
ALL COORDINATES RELATE TO THE ORDINANCE SURVEY GRID AND DATUM VIA GPS OBSERVATIONS

COORDINATE SCHEDULE

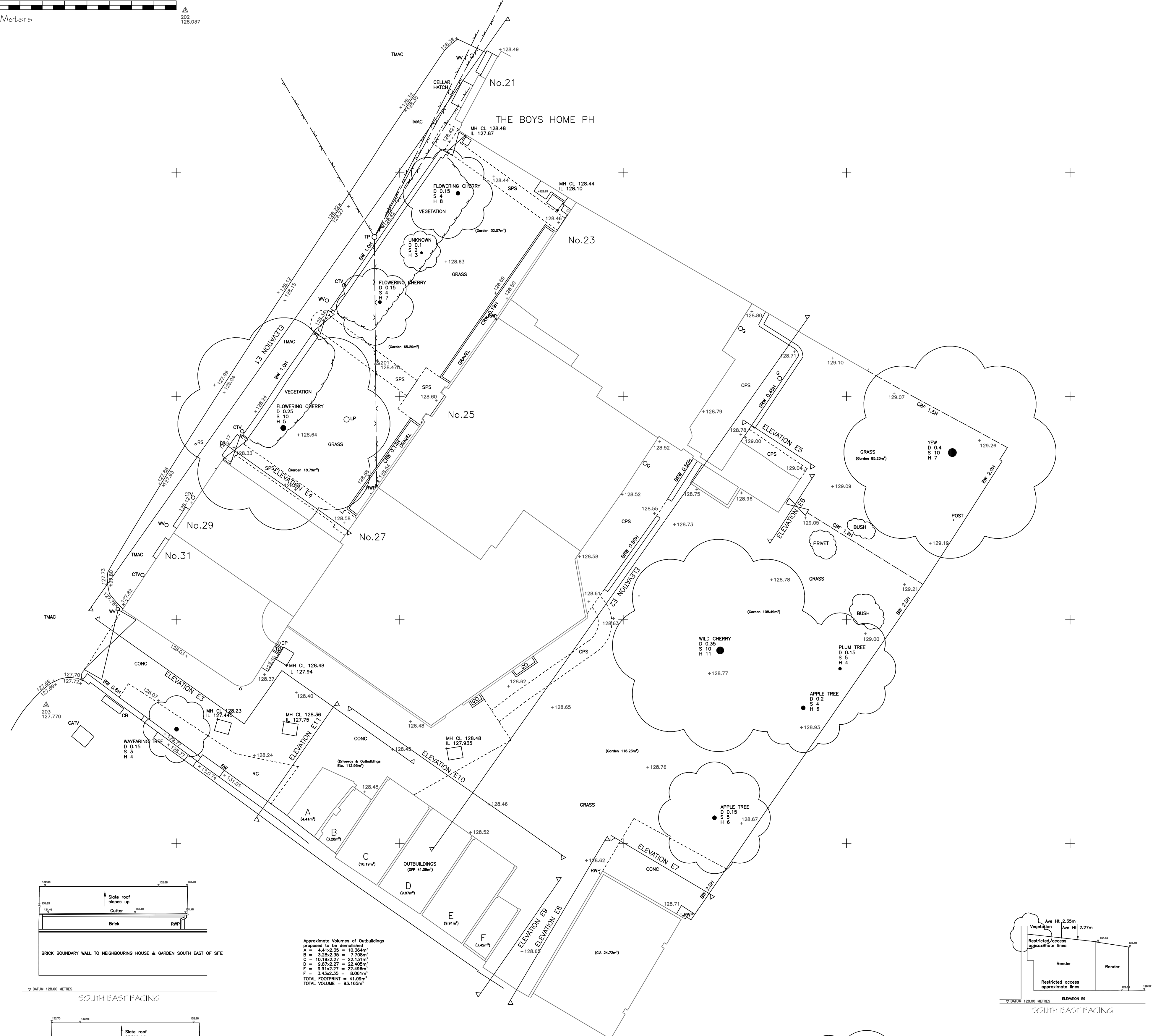
STN	EASTINGS	NORTHINGS	LEVEL
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202	509819.404	292157.282	128.037
203	509804.178	292126.179	127.770



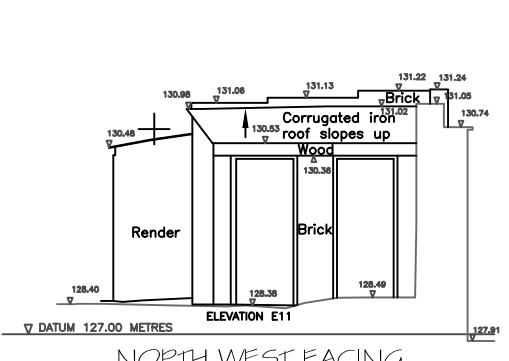
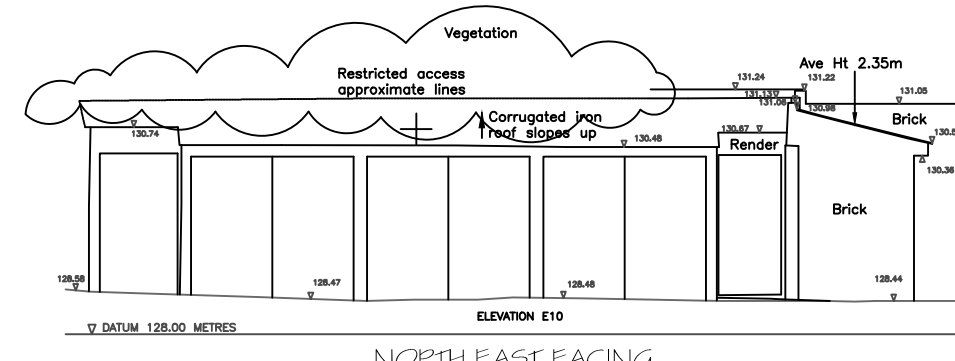
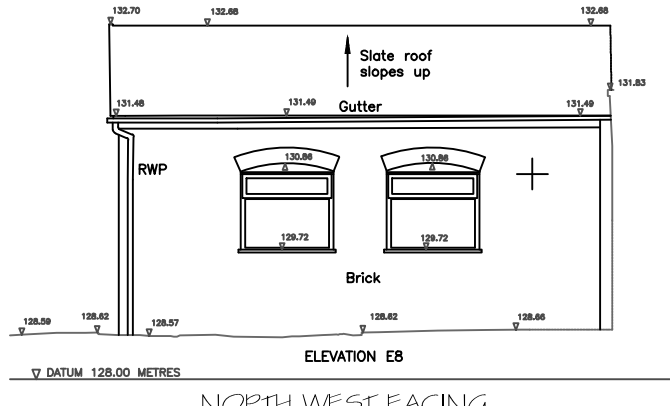
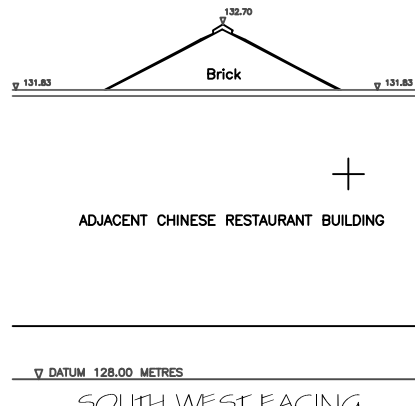
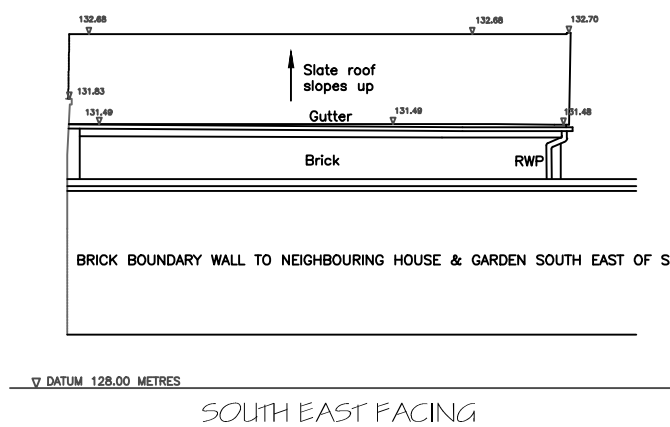
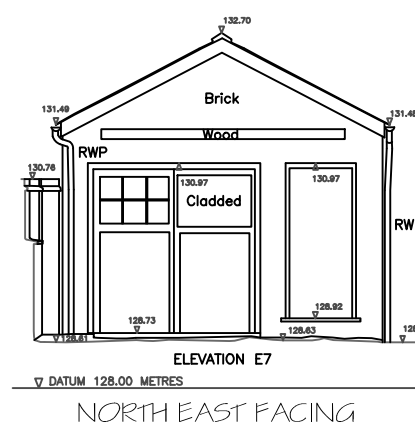
All underground services information shown on this plan cannot be guaranteed and users should satisfy themselves of the type, size and route before commencing work on site.
Tree types shown on this drawing cannot be guaranteed and it critical should be verified by an arboriculturist.
Tree spreads and diameters are averages unless otherwise indicated.
This plan has been produced for the client detailed below or their appointed agent to an agreed specification and defines the limit of APR Services liability

D	SCALE BAR ADDED	12.2020
C	ELEVATIONS ADDED	12.2020
B	DRAWING No CHANGED	12.2020
A	REFERENCE LINES ADDED	07.2020
Revisions		Date
Date	JUNE 2020	Drawn DTT
Scale	A1/A3 1:100/200	Checked APR
Dwg. No.	200601/SP/01	REV D
Client		

THE DESIGN WORKS
Dwg. Title EXISTING SITE LAYOUT PLAN
Project Title 23-31 HIGH STREET ABBOTS LANGLEY



Approximate Volumes of Outbuildings proposed to be demolished
A = 4.43x2.35 = 10.36m³
B = 3.98x2.33 = 9.26m³
C = 10.19x2.27 = 23.13m³
D = 8.91x2.37 = 21.10m³
E = 9.91x2.27 = 22.48m³
F = 3.42x2.38 = 8.04m³
TOTAL FOOTPRINT = 41.09m²
TOTAL VOLUME = 95.16m³



202150 mN

202140 mN

202130 mN

202120 mN

202110 mN

509490 mE

509500 mE

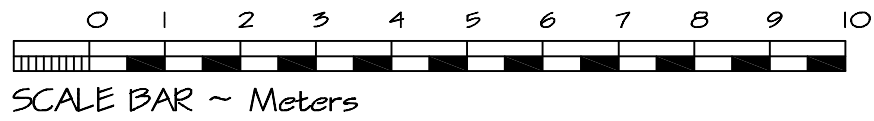
509510 mE

509520 mE

509530 mE

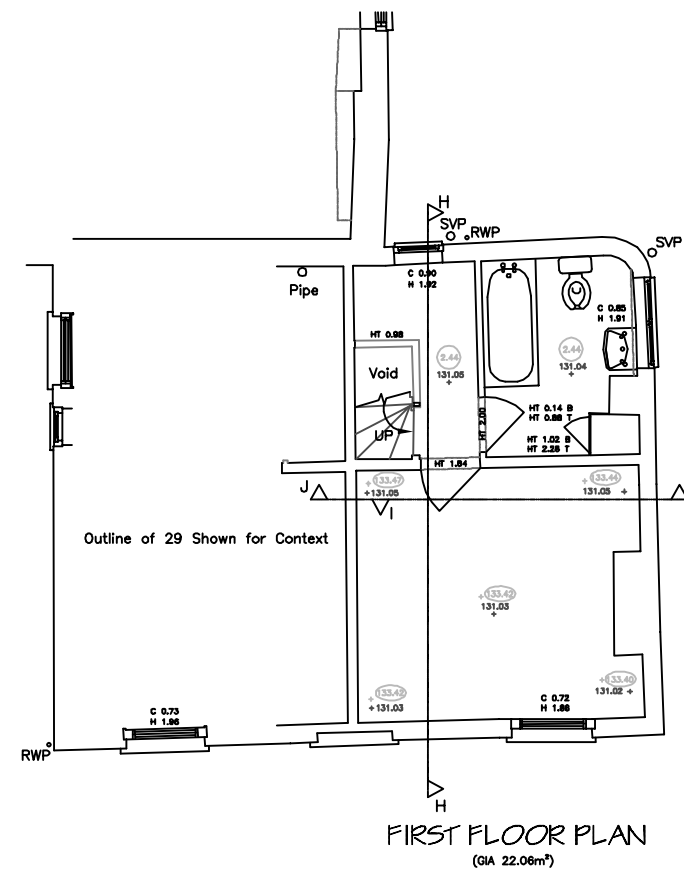
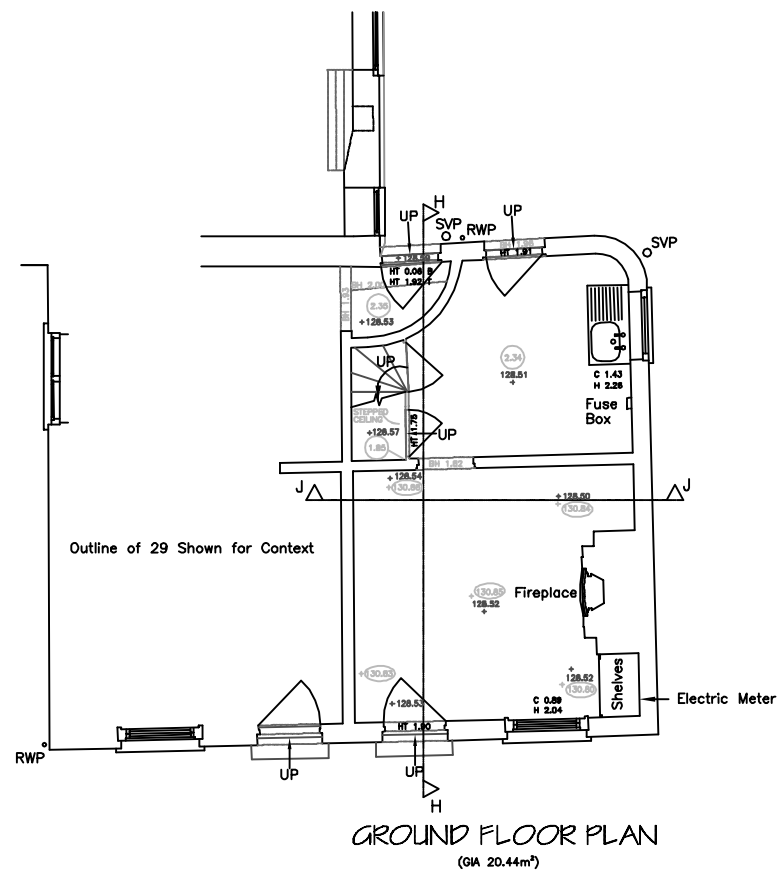
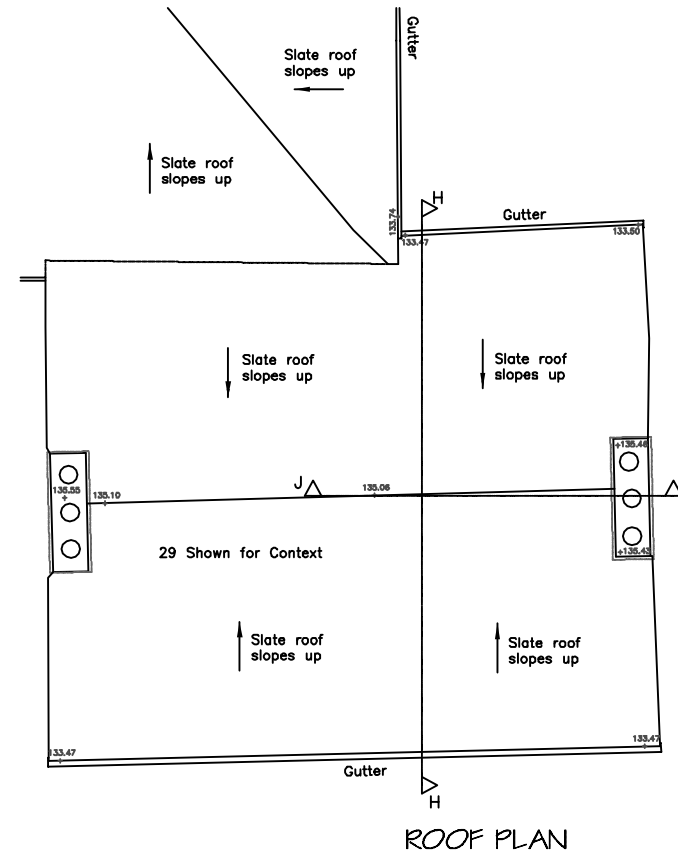
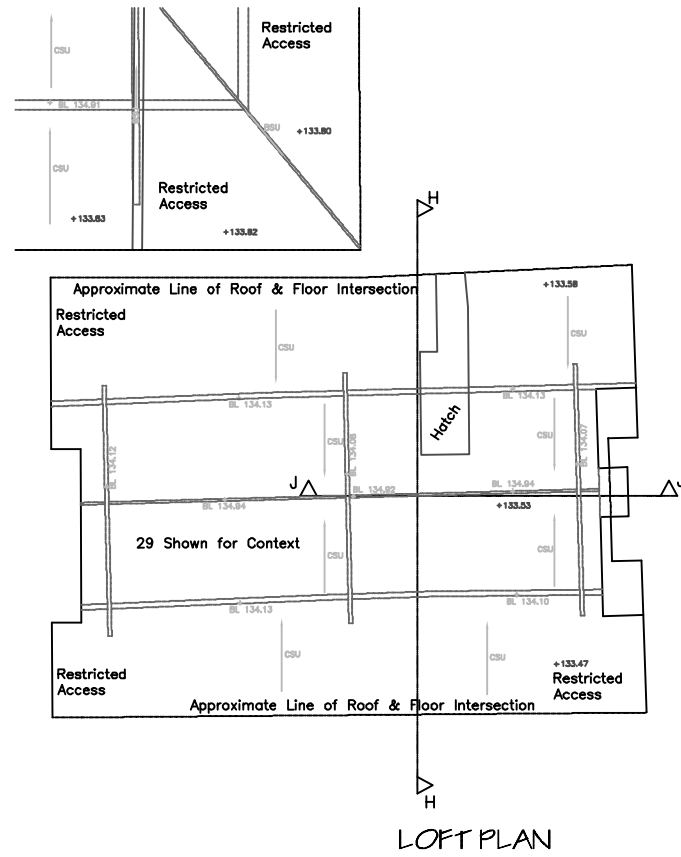
509540 mE

509550 mE



~ NOTES ~

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 ARCHITRAVES, CORNICES, DOORS & SKIRTINGS TO MATCH.
 SERVICES TO BE ALTERED & EXTENDED AS NECESSARY.



REV A - Updated for formal submissions to LPA 30/11/2020
 REVISIONS DATE

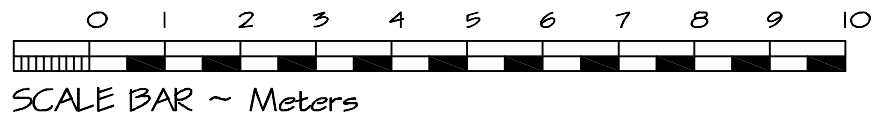
Architectural Design & Planning
 32 Grange Road Plymouth PL7 2HY
 t: 01752 341496
 f: 07973 136876



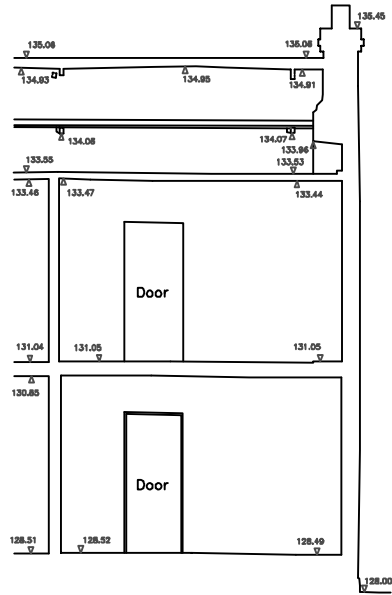
TITLE
 EXISTING FLOOR & ROOF PLANS

ADDRESS
 31 HIGH STREET
 ABBOTS LANGLEY WDS OAA

CLIENT
 CHURCH DEVELOPMENT PARTNERSHIP
 SCALE 1:100 & 1:50 A1 DATE JULY 2020
 DRAWING No. 200601/31/01 REV. A

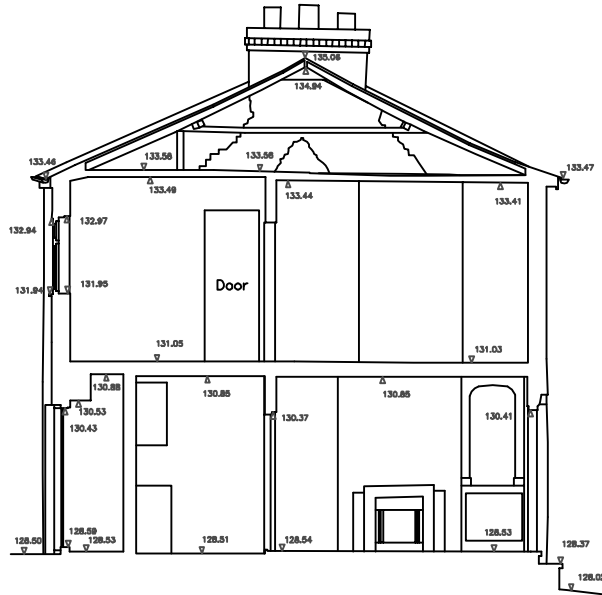


~ NOTES ~



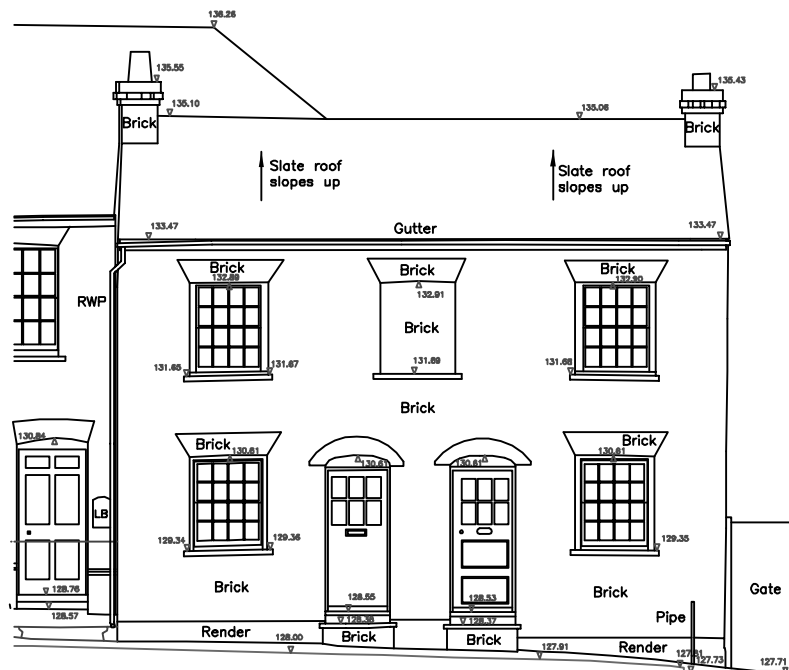
SECTION J-J

▽ DATUM 126.00 METRES



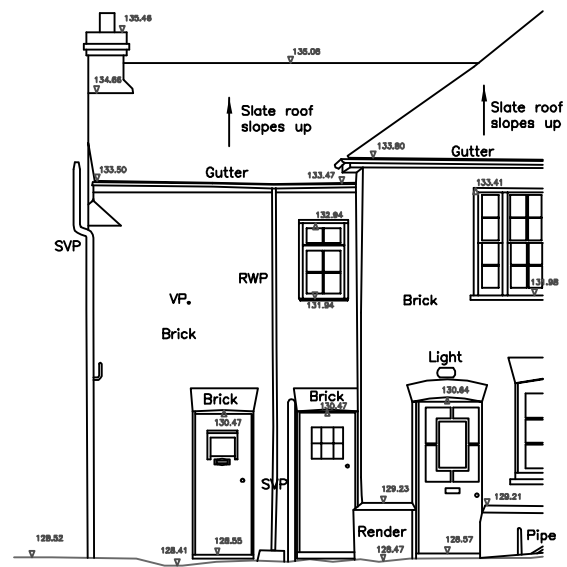
SECTION H-H

▽ DATUM 126.00 METRES



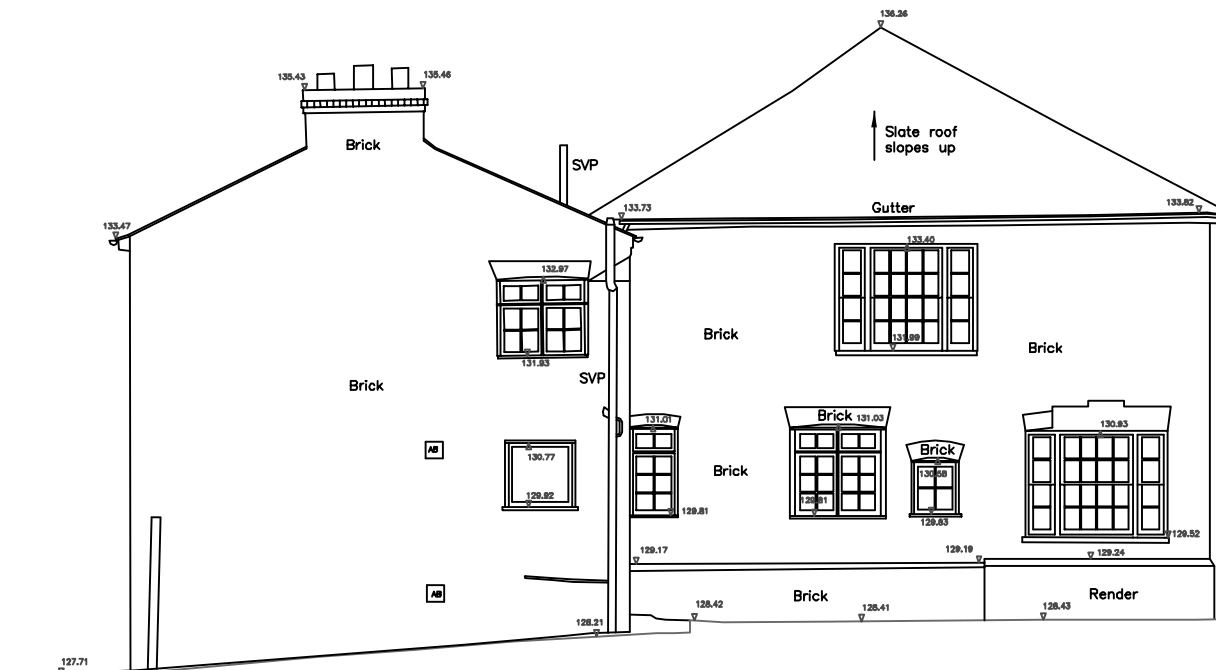
FRONT ELEVATION No 29 & 31

DATUM 126.00 METRES



REAR ELEVATION No 31 & 29

▽ DATUM 126.00 METRES



FLANK ELEVATION No 31 & 27

▽ DATUM 126.00 METRES

REV A - Updated for formal submissions to LPA 30/11/2020
REVISIONS DATE

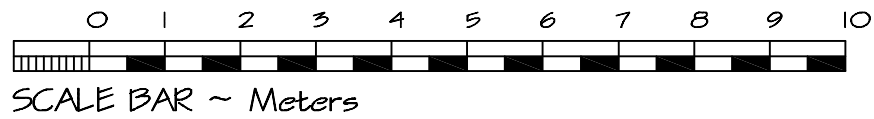
Architectural Design & Planning
32 Grange Road
Plymouth PL7 2HY
t: 01752 341496
f: 07973 136876

THE DESIGN WORKS

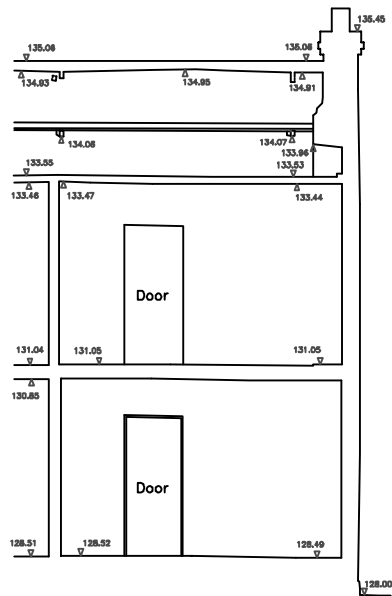
TITLE
EXISTING ELEVATIONS & SECTIONS

ADDRESS
31 HIGH STREET
ABBOTS LANGLEY WDS OAA

CLIENT
CHURCH DEVELOPMENT PARTNERSHIP
SCALE
1:100 & 1:50 A1 DATE
JULY 2020
DRAWING No. 200601/31/02 REV. A

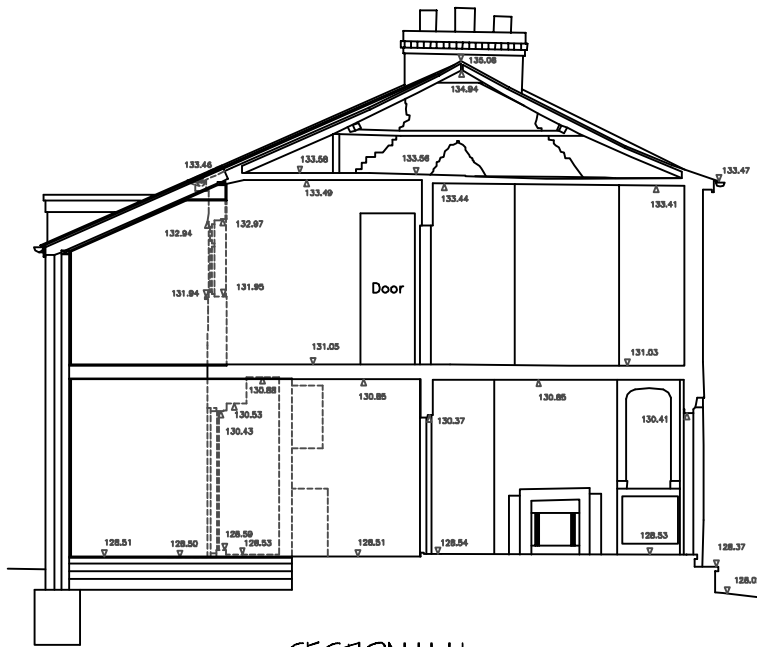


~ NOTES ~



SECTION J-J

▽ DATUM 126.00 METRES



SECTION H-H

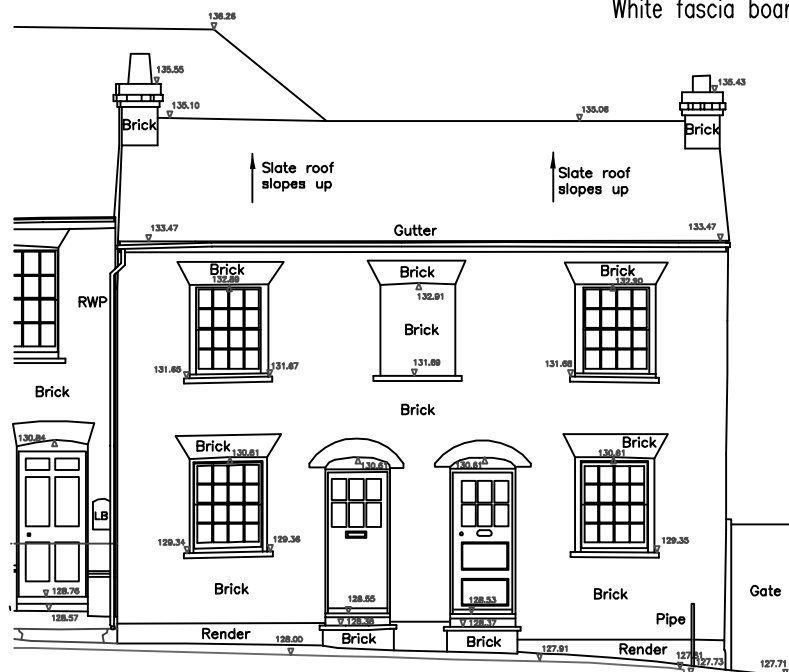
▽ DATUM 126.00 METRES

White painted purpose made timber framed windows and french doors to extension to match existing windows

Dormer cheeks & flat roof finished in code 5 Lead with traditional rolls & drips
White fascia board

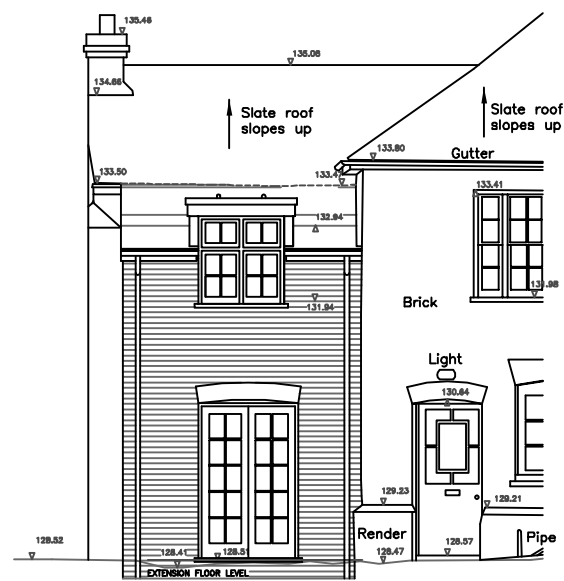
Natural Slate roof coverings to first floor extension to match sizes, coursing & colour of the existing building

Facing bricks to extension to match the existing building using reclaimed bricks from demolitions at No 27 where possible. Red brick soldier courses over glazed areas



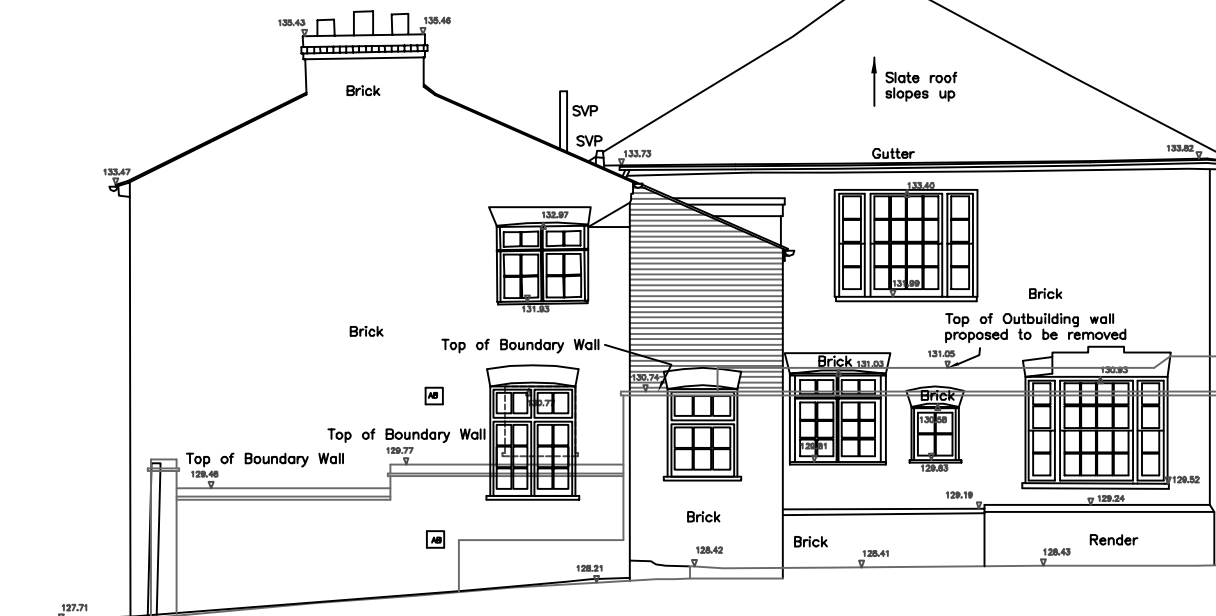
FRONT ELEVATION No 29 & 31

DATUM 126.00 METRES



REAR ELEVATION No 31 & 29

▽ DATUM 126.00 METRES



FLANK ELEVATION No 31 & 27

▽ DATUM 126.00 METRES

REV D - Works to No 29 removed from drawings 23/12/2020
REV C - Section H-H updated as proposed 16/12/2020
REV B - Updated for formal submissions to LPA 30/11/2020
REV A - Extension revised following Pre App advice 06/10/2020
REVISIONS DATE

Architectural Design & Planning
32 Grange Road
Plymouth PL7 2HY
t: 01752 341496
f: 07973 136876

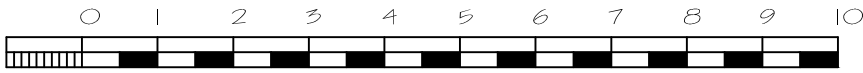
THE DESIGN WORKS

TITLE
PROPOSED ELEVATIONS & SECTIONS

ADDRESS
31 HIGH STREET
ABBOTS LANGLEY WDS OAA

CLIENT
CHURCH DEVELOPMENT PARTNERSHIP
SCALE
1:100 & 1:50 A1 DATE
JULY 2020

DRAWING No. 200601/31/04 REV. D

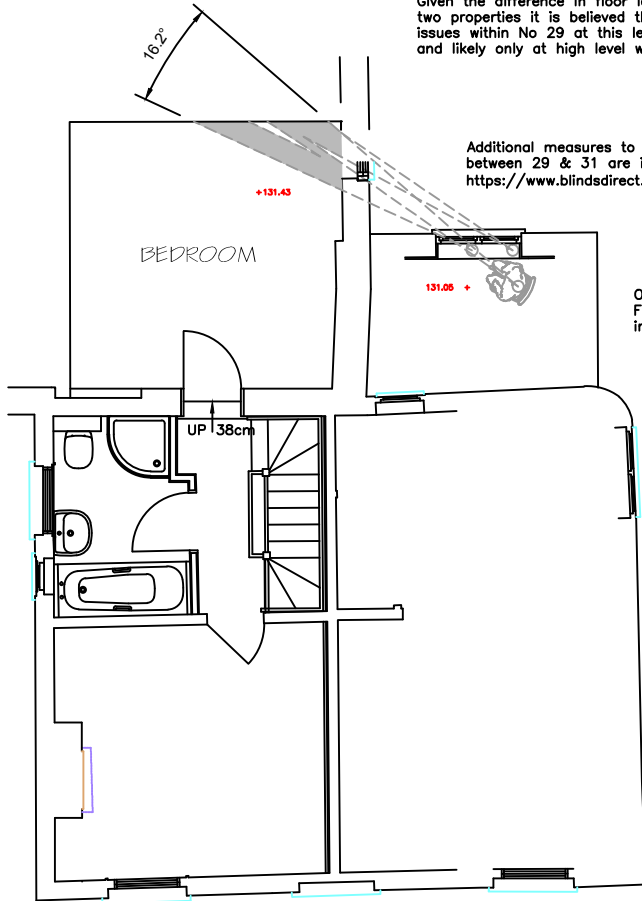


SCALE BAR ~ Meters

~ NOTES ~

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 ARCHITRAVES, CORNICES, DOORS & SKIRTINGS TO MATCH.
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Given the difference in floor levels between the two properties it is believed that any privacy issues within No 29 at this level will be minimal and likely only at high level within the room

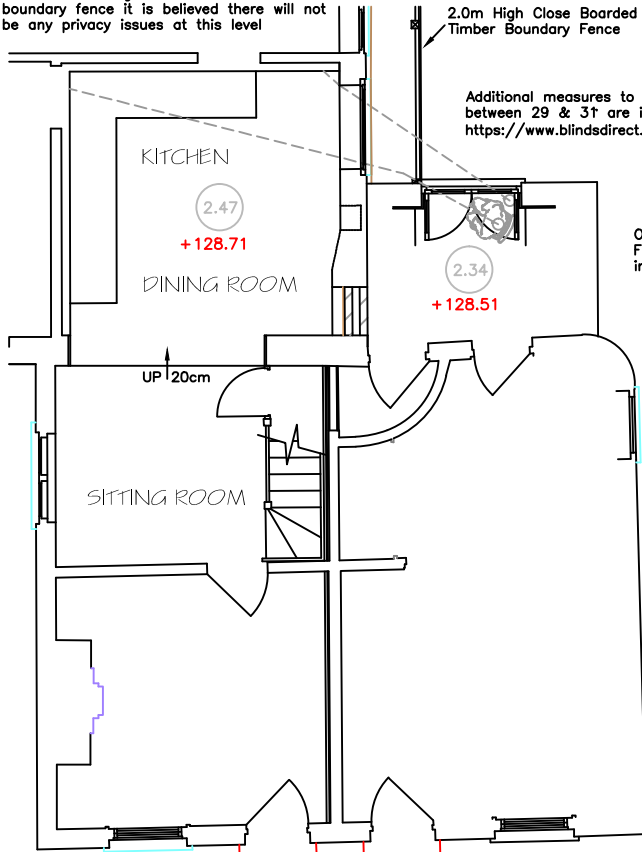


Additional measures to be considered for privacy between 29 & 31 are interior adjustable timber shutters
<https://www.blindsdirect.co.uk/product/premier-chalk-white-shutter>

Outline of proposed extension to No 31
 Floor Level 0.38m lower than Floor Level in No 29

FIRST FLOOR PLAN

Given the difference in floor levels between the two properties and the proposal to erect a 2.0m high close boarded timber boundary fence it is believed there will not be any privacy issues at this level



Additional measures to be considered for privacy between 29 & 31 are interior adjustable timber shutters
<https://www.blindsdirect.co.uk/product/premier-chalk-white-shutter>

Outline of proposed extension to No 31
 Floor Level 0.2m lower than Floor Level in No 29

GROUND FLOOR PLAN

REV C - Works to No 29 removed from drawings	23/12/2020
REV B - First floor levels added	10/12/2020
REV A - Updated for formal submissions to LPA	30/11/2020
REVISIONS	DATE

Architectural
 Design & Planning



32 Grange Road
 Plymouth PL7 2HY

t: 01752 341696
 f: 07973 136876

TITLE
 PRIVACY BETWEEN No 29 & No 31

ADDRESS
 31 HIGH STREET
 ABBOTS LANGLEY WD5 0AA

CLIENT
 CHURCH DEVELOPMENT PARTNERSHIP

SCALE 1:100 & 1:50 DATE JULY 2020

DRAWING No. 200601/31/05 REV. C