

General Key

- Site Boundary
- ▶ Vehicular access
- ▶ Pedestrian access

Existing Retained Buildings
(Existing use retained unless otherwise stated)

- EX01 Langleybury Mansion (Grade II* Listed)
- EX02 Stable Block (Grade II Listed)
- EX03 Aisled Barn (Grade II Listed)
- EX04 Farm Cottages (Grade II Listed)
- EX05 L-shaped Barn (Curtilage Listed)
New Use: Mobility Hub
- EX06 Southeast Shed (Curtilage Listed)
- EX07 E-shaped Barn (Curtilage Listed)
- EX08 Laundry Building (Curtilage Listed)
New Use: Reception
- EX09 West Cottages (Curtilage Listed)
- EX10 Gardener's House (Curtilage Listed)
- EX11 West Lodge (Curtilage Listed)
- EX12 South Lodge (Curtilage Listed)

Proposed Buildings

- PR01 Craft Workshop (01-01 to 01-11)
- PR02 Sound Stages (02-01 to 02-06)
- PR03 Support Workshop (03-01 to 03-20)
- PR04 Production Offices (04-01 to 04-05)
- PR05 Education (05-01)
- PR07 Children's Farm (07-01)
- PR08 Walled Garden (08-01)
- PR09 Backlots (09-01)
- PR11 Hub Parking (11-01 to 11-04)
- PR12 Commercial Office Space (12-01 to 12-05)
- PR13 Ancillary (Welfare / Substation / Plant etc) (13-01 to 13-03)

Note: Refer to Landscape masterplan drawing (DE-509-101) by Define for further information on landscaping.

Re-creation of an informal rural landscape character, creating an appropriate setting for the re-located Children's Farm

Restored productive gardens in historic Walled Garden

Restored historic setting to Langleybury Mansion

Post and wire fence boundary dividing Film Hub from Parkland

New private foot and cycle path

Hedgerow and fence boundary to site perimeter



Access route through Rookery Spinney to be determined based on tree cover post thinning operations and where possible to follow existing path network.

Some trees & scrub are to be removed and formatively pruned to open historic views from the mansion house. Exact trees tbc.

Public access increased by creation of new routes through the eastern parkland

Soakaways, forming part of a wider exemplar sustainable water management system

Post and wire boundary fence dividing public access and parkland

Public Right of Way retained

Parkland character restored, with additional ecological benefits

Historic ponds reinstated

Ecologically valuable habitat creation including reinstated water meadow, scrub, historic wetland and wet woodland

Future intent is to discuss (with the Canal and River Trust) the potential of new mooring points along the River Gade/Grand Union Canal, to support the boating community.

Mitigation planting around backlots to provide screening, with additional deer fence boundary

Existing antenna retained

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Revisions	
-	24/06/22 Issued for information
A	06/07/2022 Issued for discussion
B	15/07/2022 Issued for EA information
C	22/07/2022 Issued for Pre App Submission
D	08/08/2022 Issued for discussion
E	17/08/2022 Planning Meeting 3
F	23/08/2022 Pre App Comment Amendments
G	24/08/2022 Issued for information
H	15/09/2022 Moved Creche to Mixed use building
I	30/09/2022 Issued for Comment
J	12/10/2022 Issued for Planning
K	02/12/2022 Issued for Planning

Note:
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Consultants

Key Plan

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Client
Ralph Trustees

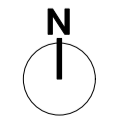
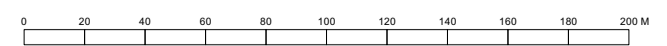
Project
Langleybury Film Hub

Drawing Title
Masterplan Overview

Drawing Status	Drawn	Checked	Revision
P	CM	MA	K

Project No.	Date	Scale @ A1	Scale @ A3
2107	Jun 2022	1:2500	1:5000

Drawing Number
2107-IFDO-00-RF-DR-A-1005



Key

- Site Boundary, Area = 634,260sqm
- Existing Retained Buildings
- Indicative Key Vehicle routes across site (cycle and pedestrian routes not shown)
- Full Planning Zone

Building Zones

- PR 01** Craft Zone
Maximum building height: 8.5m
Maximum building GEA: 13,039sqm
- PR 02 / 04a** Sound Stages and Production Office Zone 1
Maximum building height: 18m
Maximum building GEA: 11,295sqm
- PR 02 / 04b** Sound Stages and Production Office Zone 2
Maximum building height: 17m
Maximum building GEA: 5,185sqm
FFL: +81m AOD
- PR 03** Support Workshop Zone
Maximum building height: 9m
Maximum building GEA: 15,318sqm
- PR 04** Production Office Zone
Maximum building height: 9m
Maximum building GEA: 1,199sqm
- PR 05 / 12** Education Zone and Commercial Zone
Maximum building height: 14m
Maximum building GEA: 10,000sqm
- PR 07a** Children's Farm Building Zone
Maximum building height: 5m
Maximum building GEA: 225sqm
- PR 07b** Children's Farm Animal Enclosure Zone
No buildings, animal enclosures only
- PR 09** Backlot Zone
No permanent buildings
- PR 11** Parking, Aprons, Landscaping and Road Zones
No permanent buildings
- PR 12** Commercial Zone
Maximum building height: 7.0m
Maximum building GEA: 400sqm
- PR 13** Ancillary Buildings Zone
Maximum building height: 5m
Maximum building GEA: 300sqm
- LE** Landscape Enhancements / Restoration
- PA** Public Access and Landscape Enhancements / Restoration
- RO** The Rookery, managed forest with access routes
- GB** Green Breaks with enhanced landscaping and cycle/pedestrian routes
- FI** Farm Fields
- ST** Substation
- EX** Existing Buildings: No new buildings proposed
- PC** Private Cycle path

NOTE
All FFLs based on existing site levels unless otherwise stated.
Heights based on FFL with tolerance of +/- 1m.

Vehicular Access Points

Access Point 1
Access / egress point for the site (both cars and HGVs)

Access Point 2
Access / egress point for the site (both cars and HGVs)

Access Point 3
Access / egress point (both cars and HGVs)

Access Point 4
Access / egress point (both cars and HGVs)



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Revisions

Revision	Description
A 15/07/2022	Issued for EIA Information
B 05/08/2022	EIA Update
C 12/08/2022	EIA Update
D 23/08/2022	Pre-app Update
E 25/08/2022	Client Comments
F 09/09/2022	EIA Update
G 12/09/2022	EIA Update
H 12/10/2022	Issued for Planning
I 02/12/2022	Issued for Planning

Notes:
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Consultants

Key Plan

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Client
Ralph Trustees

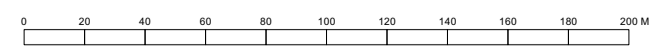
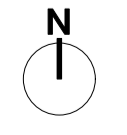
Project
Langleybury Film Hub

Drawing Title
Parameter Plan

Drawing Status	Drawn	Checked	Revision
P	AS	CM	I

Project No.	Date	Scale @ A1	Scale @ A3
2107	Aug 2022	1:2500	1:5000

Drawing Number
2107-IFDO-00-RF-DR-A-1104



General Key

- Site Boundary
- ▶ Vehicular access
- ▶ Pedestrian access

Existing Retained Buildings
 (Existing use retained unless otherwise stated)

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- EX02 Stable Block (Grade II Listed)
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- EX04 Farm Cottages (Grade II Listed)
- EX05 L-shaped Barn (Curtilage Listed)
New Use: Mobility Hub
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Proposed Buildings

- PR01 Craft Workshop (01-01 to 01-11)
- PR02 Sound Stages (02-01 to 02-06)
- PR03 Support Workshop (03-01 to 03-20)
- PR04 Production Offices (04-01 to 04-05)
- PR05 Education (05-01)
- PR07 Children's Farm (07-01)
- PR08 Walled Garden (08-01)
- PR09 Backlots (09-01)
- PR11 Hub Parking (11-01 to 11-04)
- PR12 Commercial Office Space (12-01 to 12-05)
- PR13 Ancillary (Welfare / Substation / Plant etc) (13-01 to 13-03)

Note: Refer to Landscape masterplan drawing (DE-509-101) by Define for further information on landscaping.



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Revisions

Revision	Issued for Comment	Issued for Planning
- 30/09/2022		
A 12/10/2022		

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Consultants

Key Plan



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Client
Ralph Trustees

Project
Langleybury Film Hub

Drawing Title
Masterplan Detail B (Historic Core)

Drawing Status	Drawn	Checked	Revision
P	CM	MA	A

Project No.	Date	Scale @ A1	Scale @ A3
2107	Jun 2022	1:500	1:1000

Drawing Number
2107-IFDO-00-RF-DR-A-1011



General Key

- Site Boundary
- Vehicular access
- Pedestrian access

Existing Retained Buildings
(Existing use retained unless otherwise stated)

- EX01 Langleybury Mansion (Grade II* Listed)
- EX02 Stable Block (Grade II Listed)
- EX03 Aisled Barn (Grade II Listed)
- EX04 Farm Cottages (Grade II Listed)
- EX05 L-shaped Barn (Curtilage Listed)
New Use: Mobility Hub
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Proposed Buildings

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Note: Refer to Landscape masterplan drawing (DE-509-101) by Define for further information on landscaping.



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Revisions

- 13/10/2022	Issued for Planning
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Consultants

Key Plan



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Client
Ralph Trustees

Project
Langleybury Film Hub

Drawing Title
Masterplan Detail - Mansion Carpark

Drawing Status	Drawn	Checked	Revision
P	CM	MA	-
Project No.	Date	Scale @ A1	Scale @ A3
2107	Oct 2022	1:500	1:1000

Drawing Number
2107-IFDO-00-RF-DR-A-1020



General Key

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- ▶ Vehicular access
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Revisions	Issued for Comment
- 30/09/2022	Issued for Comment
A 12/10/2022	Issued for Planning
B 02/12/2022	Issued for Planning

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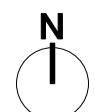
Project
Langleybury Film Hub

Drawing Title
Masterplan Detail A (Walled Garden & Children's Farm)

Drawing Status	Drawn	Checked	Revision
P	CM	MA	B

Project No.	Date	Scale @ A1	Scale @ A3
2107	Jun 2022	1:500	1:1000

Drawing Number
2107-IFDO-00-RF-DR-A-1010



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Revisions

- 30/09/2022	Issued for Comment
A 12/10/2022	Issued for Planning

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Consultants

Key Plan



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Client
Ralph Trustees

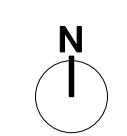
Project
Langleybury Film Hub

Drawing Title
Masterplan Detail C (Craft Zone)

Drawing Status	Drawn	Checked	Revision
P	CM	MA	A

Project No.	Date	Scale @ A1	Scale @ A3
2107	Jun 2022	1:500	1:1000

Drawing Number
2107-IFDO-00-RF-DR-A-1012



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- Vehicular access
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Proposed Buildings

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 (01-01 to 01-11)
- PR02 Sound Stages
 (02-01 to 02-06)
- PR03 Support Workshop
 (03-01 to 03-20)
- PR04 Production Offices
 (04-01 to 04-05)
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 (13-01 to 13-03)

Note: Refer to Landscape masterplan drawing (DE-509-101) by Define for further information on landscaping.



Notes
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Revisions

- 30/09/2022	Issued for Comment
A 12/10/2022	Issued for Planning

Note:
 This drawing is included as part of the submission for hybrid planning consent only. Refer to planning statement for details on the delineation of full and outline planning application.
 The masterplan drawing sets out some aspects of the access (including access to and within sites for vehicles, cycles and pedestrians) and layout (including the general extent of building zones and open spaces).
 The site sections and typical building drawings set out the scale of the buildings (including general built areas, key building heights, e.g. ridge and eaves, and the width and length of the building) and some aspects of the appearance (including an outline material palette).
 Further detailed building information will be approved through Reserved Matters. Reserved Matters will include appearance (including detailed elevations, fenestration, access, decoration, lighting, colour and texture), layout (internal building layouts in plan and section, and final detail on location and orientation of buildings within approved zones), access (building entrances and exits, and route treatment), and landscaping (planting, earthworks, layouts of open spaces, screening treatments, and details of amenity provisions).
 Ground floor levels of buildings vary across the site and is shown at +00.00 on typical building drawings for illustrative purposes. Ground floor levels of zones are set out on drawing 2107-IFDO-00-RF-DR-A-1006.

Consultants

Key Plan



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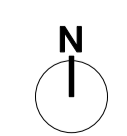
Project
Langleybury Film Hub

Drawing Title
Masterplan Detail D (South Site A)

Drawing Status	Drawn	Checked	Revision
P	CM	MA	A

Project No.	Date	Scale @ A1	Scale @ A3
2107	Jun 2022	1:500	1:1000

Drawing Number
2107-IFDO-00-RF-DR-A-1013



General Key

- Site Boundary
- Vehicular access
- Pedestrian access

Existing Retained Buildings

(Existing use retained unless otherwise stated)

- EX01 Langleybury Mansion (Grade II* Listed)
- EX02 Stable Block (Grade II Listed)
- EX03 Aisled Barn (Grade II Listed)
- EX04 Farm Cottages (Grade II Listed)
- EX05 L-shaped Barn (Curtilage Listed)
New Use: Mobility Hub
- EX06 Southeast Shed (Curtilage Listed)
- EX07 E-shaped Barn (Curtilage Listed)
- EX08 Laundry Building (Curtilage Listed)
New Use: Reception
- EX09 West Cottages (Curtilage Listed)
- EX10 Gardener's House (Curtilage Listed)
- EX11 West Lodge (Curtilage Listed)
- EX12 South Lodge (Curtilage Listed)

Proposed Buildings

- PR01 Craft Workshop (01-01 to 01-11)
- PR02 Sound Stages (02-01 to 02-06)
- PR03 Support Workshop (03-01 to 03-20)
- PR04 Production Offices (04-01 to 04-05)
- PR05 Education (05-01)
- PR07 Children's Farm (07-01)
- PR08 Walled Garden (08-01)
- PR09 Backlots (09-01)
- PR11 Hub Parking (11-01 to 11-04)
- PR12 Commercial Office Space (12-01 to 12-05)
- PR13 Ancillary (Welfare / Substation / Plant etc) (13-01 to 13-03)

Note: Refer to Landscape masterplan drawing (DE-509-101) by Define for further information on landscaping.



Notes
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Revisions	Issued for Comment
- 30/09/2022	Issued for Comment
A 12/10/2022	Issued for Planning

Notes
This drawing is included as part of the submission for hybrid planning consent only. Refer to planning statement for details on the delineation of full and outline planning application.
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Consultants

Key Plan



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Project
Langleybury Film Hub

Drawing Title
Masterplan Detail E (South Site B)

Drawing Status	Drawn	Checked	Revision
P	CM	MA	A

Project No.	Date	Scale @ A1	Scale @ A3
2107	Jun 2022	1:500	1:1000

Drawing Number
2107-IFDO-00-RF-DR-A-1014

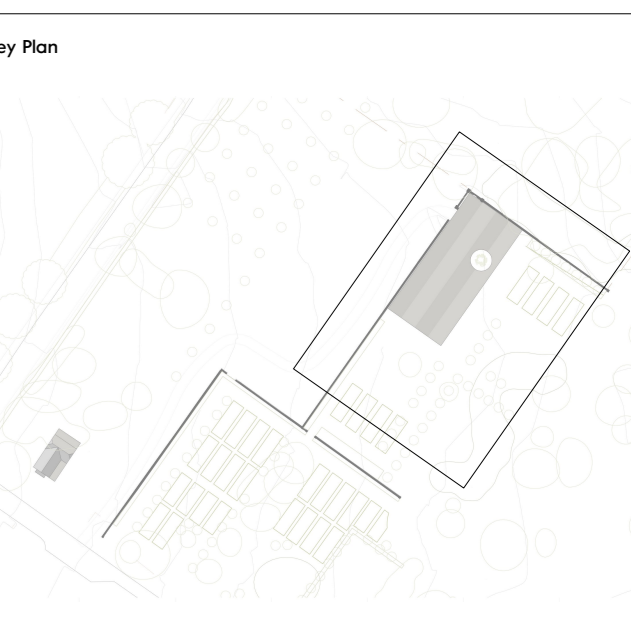
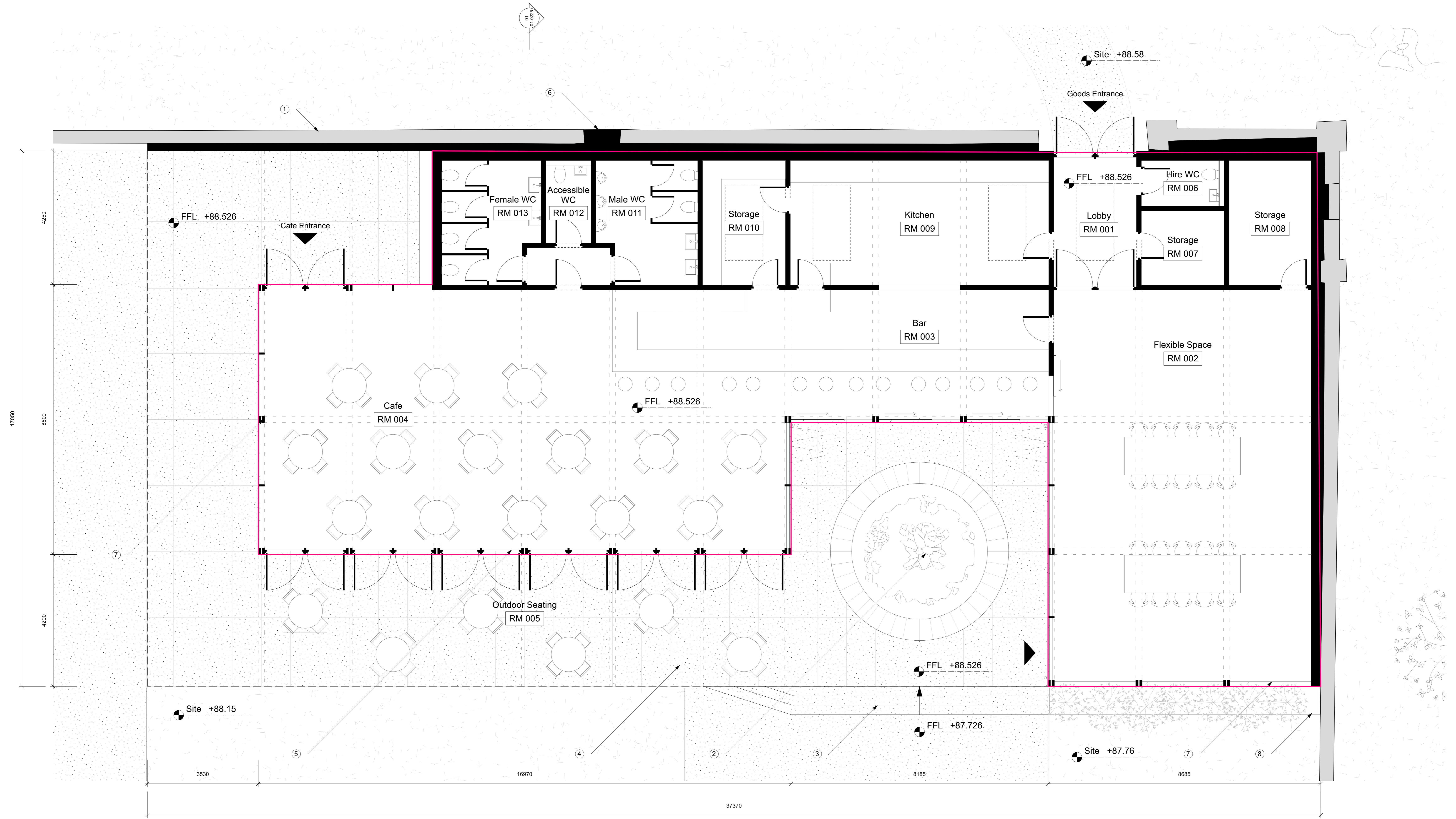


Notes
 The figured dimensions only. Do not scale from this drawing. Issued for purpose indicated only. All dimensions to be checked on site. Architect to be notified of any discrepancies before construction commences. Structural and services information is indicative only - refer to consultant drawings and specifications for details and setting out. All work and materials to be in accordance with current applicable building and European standards. Information contained within this drawing is the sole copyright of IF_DO Design Office Ltd and not to be reproduced without expressed written permission.

Revisions
 - 30/09/2022 Issued for comment
 A 12/10/2022 Issued for Planning

Note
 This drawing is included as part of the submission for full planning consent. The full planning consent is submitted as part of a hybrid planning application which includes landscape planning consent for the wider reservation. Use for the reports will be carried out to the garden wall where required. Refer to conservation architect drawings for details on reserved, dismantling, cleaning and repair work to garden wall.

Consultants



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Project
Langleybury Film Hub

Drawing Title
**Proposed Walled Garden Cafe
 08-01 - Ground Floor Plan**

Drawing Status	Drawn	Checked	Revision
P	YL	CM	A

Project No. Date Scale @ A0 Scale @ A2
 2107 Sep 2022 1:50 H100
 Drawing Number
 2107-IFDO-08-00-DR-A-01-0125

01 Proposed Walled Garden Cafe - Ground Floor Plan
 Scale: 1:50

- Key**
1. Repaired historic garden wall
 2. Newly planted tree under roof oculi
 3. Limestone steps
 4. Limestone external paving
 5. Triple glazed timber-framed doors and windows
 6. Brick infill to match existing. See Heritage Architects report for details
 7. Exposed timber structure (double columns) with triple glazed infills
 8. Planter

