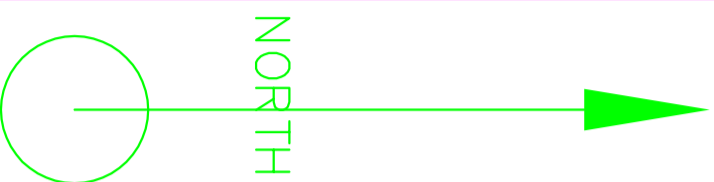
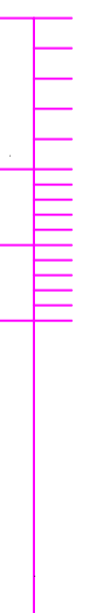


EXISTING BLOCK PLAN (SCALE 1:500 @ A3)

51 – BROOKDENE AVENUE – WD19 4LG



20 0 20





HOMES DESIGN

40 WISE LANE

MILL HILL
NW7 2RE

M: 07946872537

info@homesdesignltd.co.uk
www.homesdesignltd.co.uk

title PRIOR TO COMMENCING CONSTRUCTION WORKS
ELEVATIONS IN RELATION TO ADJOINING PREMISES

project 51 BROOKDENE AVENUE - WD19 4LG

drawing no ABC161/801 REV

drawn by R.L contract no. ABC161

scale 1:100 @ A3 date 11/2021

PLANNING PERMISSION WAS GRANTED ON 03rd AUGUST 2021, UNDER REF: 20/1061/FUL

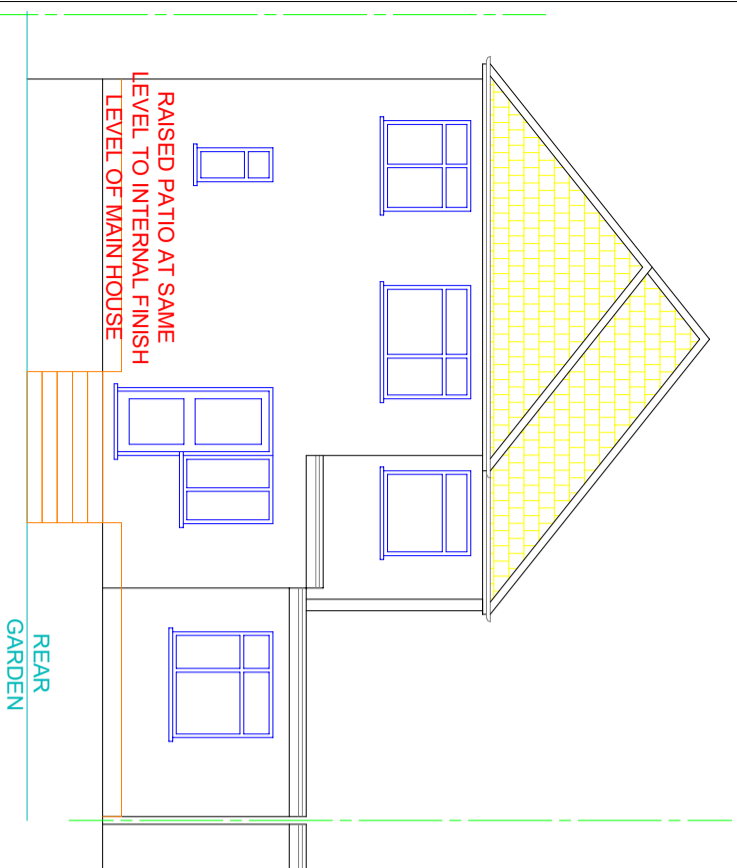
DESCRIPTION: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation and associated alterations.

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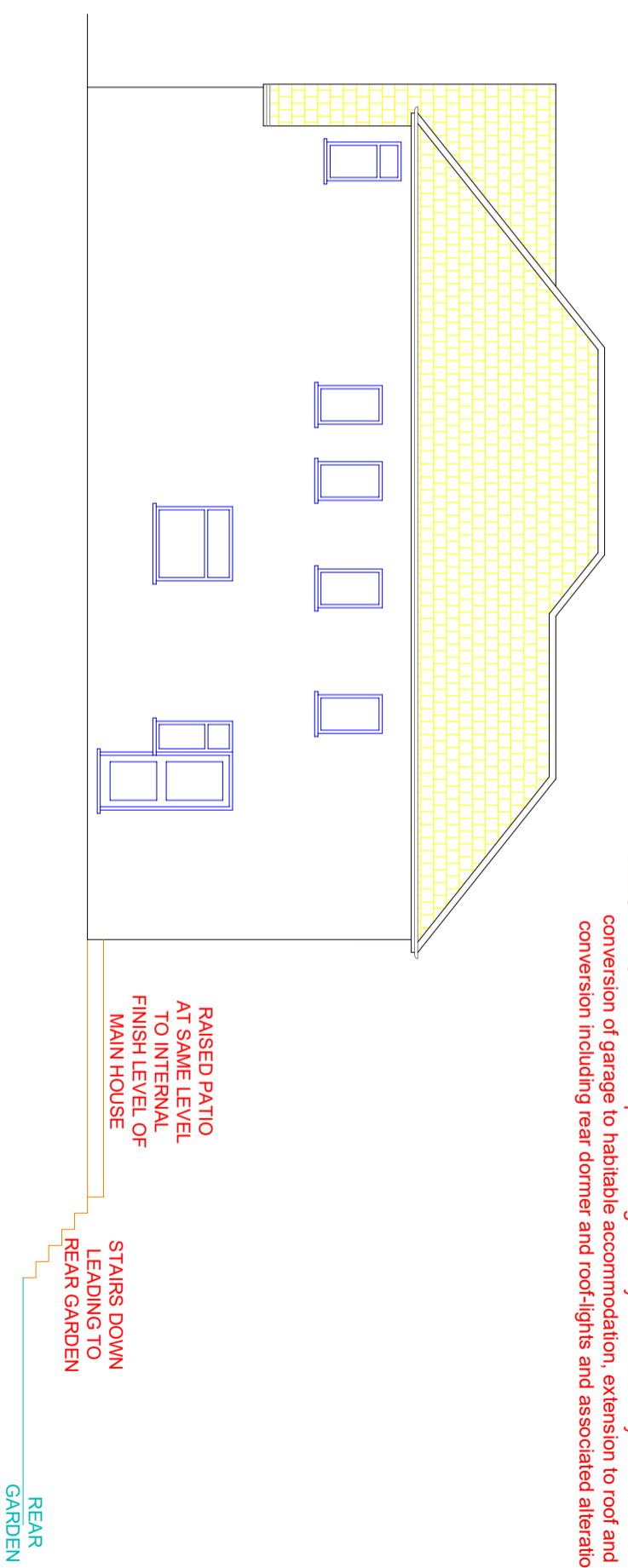
PLANNING PERMISSION WAS GRANTED ON 24th MAY 2021, UNDER REF: 21/0737/RSP

DESCRIPTION: Part Retrospective: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation, extension to roof and loft conversion including rear dormer and roof-lights and associated alterations

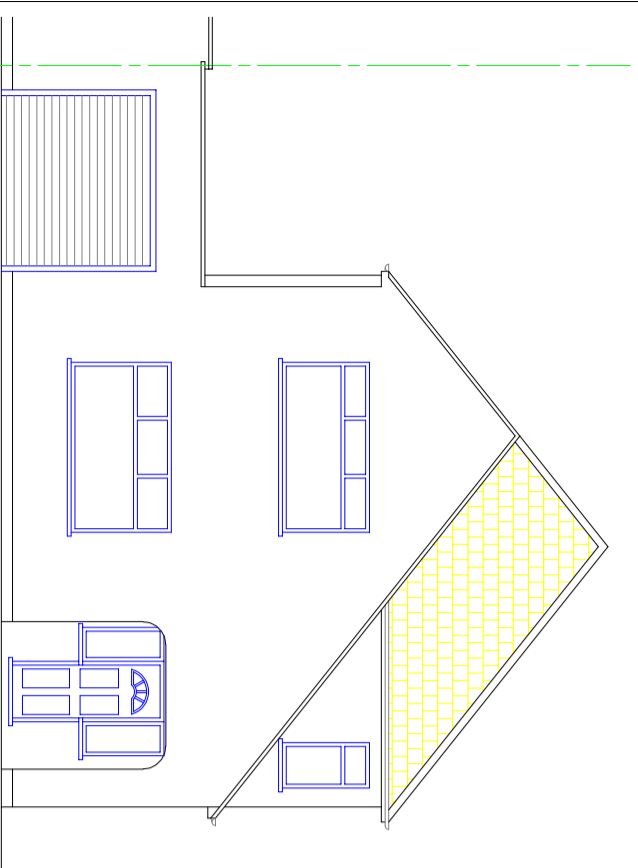
REAR ELEVATION



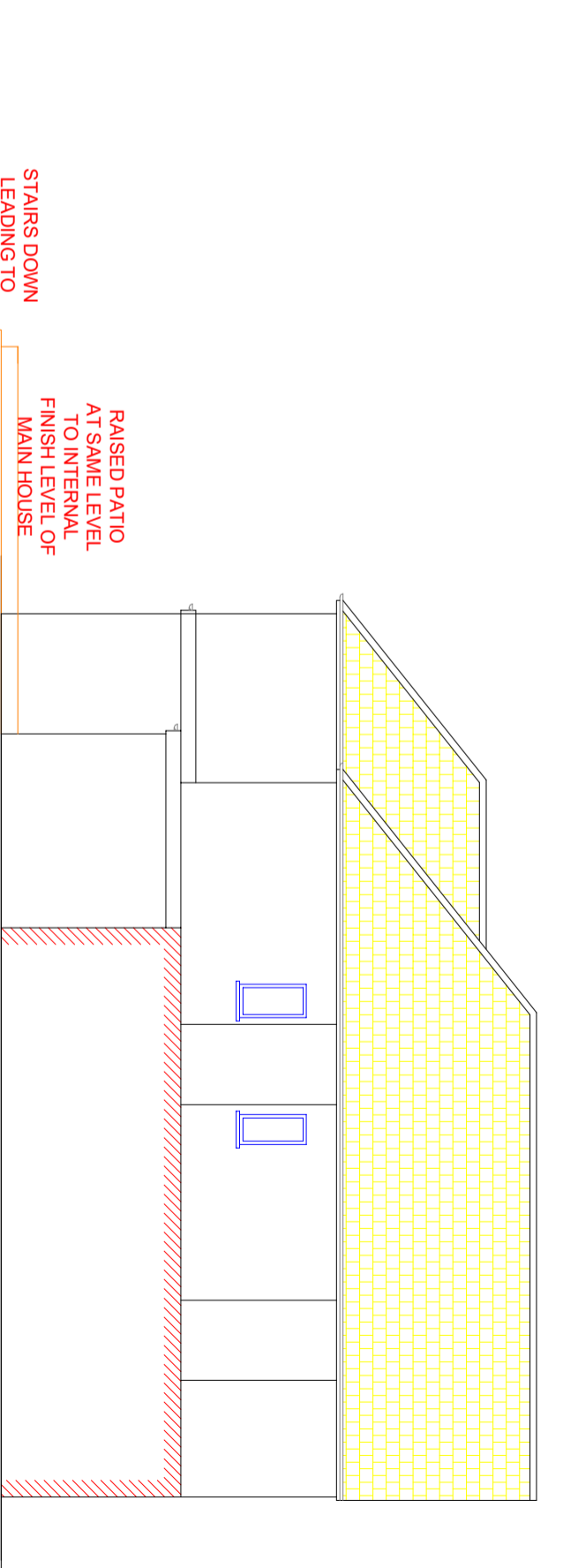
SIDE ELEVATION



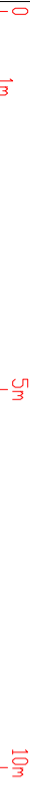
FRONT ELEVATION



SIDE ELEVATION



SCALE





HOMES DESIGN

40 WISE LANE

MILL HILL
NW7 2RE

M: 07946872537

info@homesdesigntd.co.uk
www.homesdesigntd.co.uk

title PRIORITY COMMENCING CONSTRUCTION WORKS
FLOOR PLANS IN RELATION TO ADJOINING PREMISES

project 51 BROOKDENE AVENUE - WD19 4LG

drawing no ABC161/800 REV

drawn by R.L contract no. ABC161

scale 1:100 @ A3 date 11/2021

PLANNING PERMISSION WAS GRANTED ON 03rd AUGUST 2021, UNDER REF: 20/ 1061 /FUL

DESCRIPTION: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation and associated alterations.

&

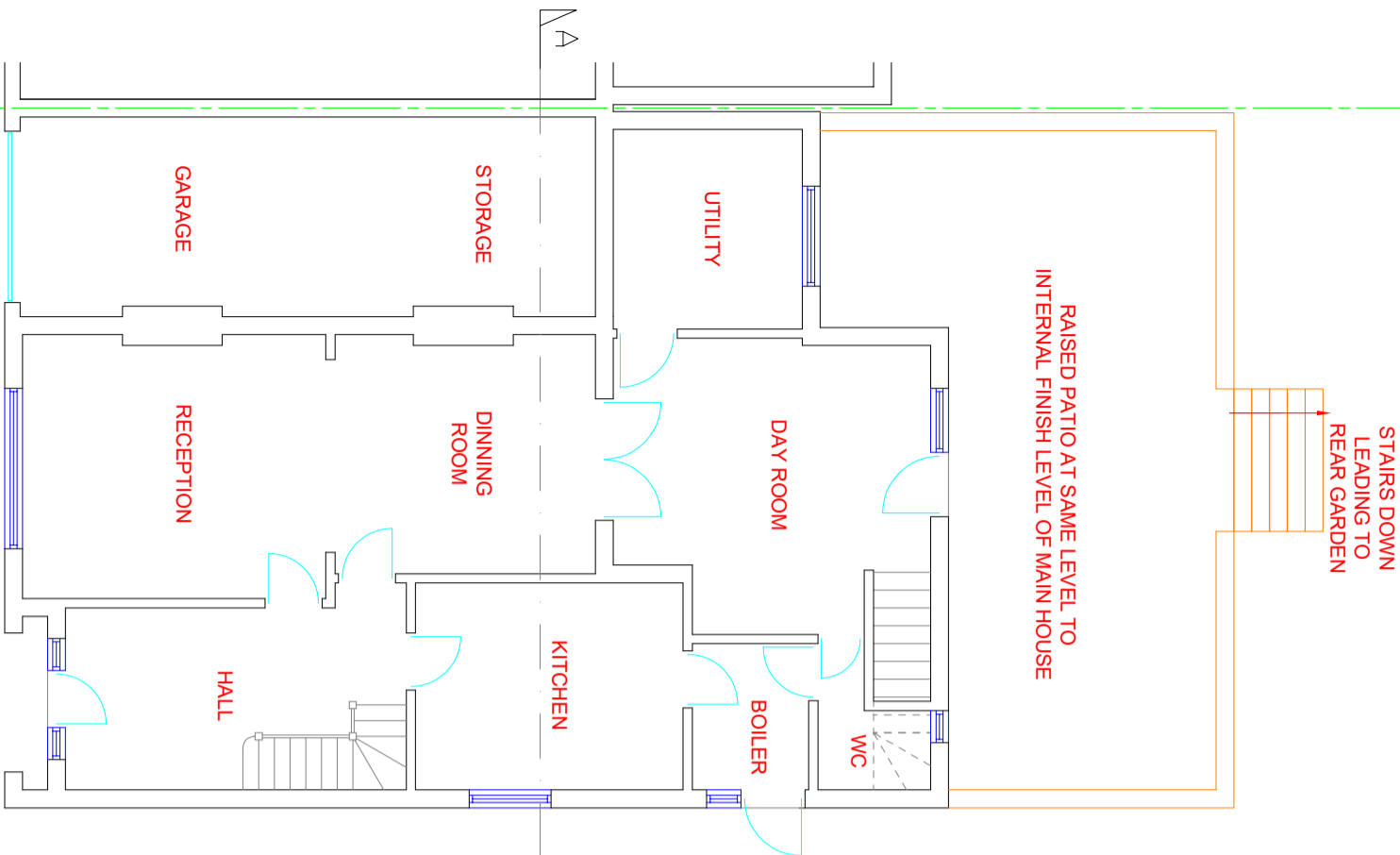
PLANNING PERMISSION WAS GRANTED ON 24th MAY 2021, UNDER REF: 21/ 0737 /RSP

DESCRIPTION: Part Retrospective: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation, extension to roof and loft conversion including rear dormer and roof-lights and associated alterations

REAR GARDEN AREA

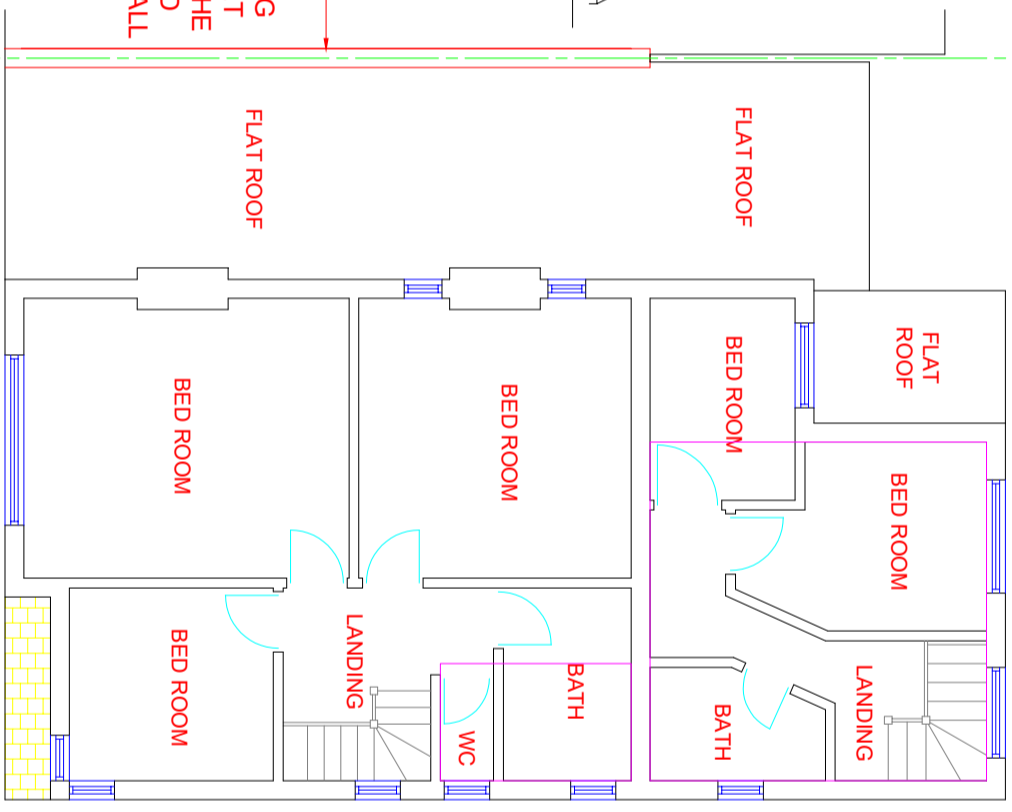
STAIRS DOWN
LEADING TO
REAR GARDEN

RAISED PATIO AT SAME LEVEL TO
INTERNAL FINISH LEVEL OF MAIN HOUSE

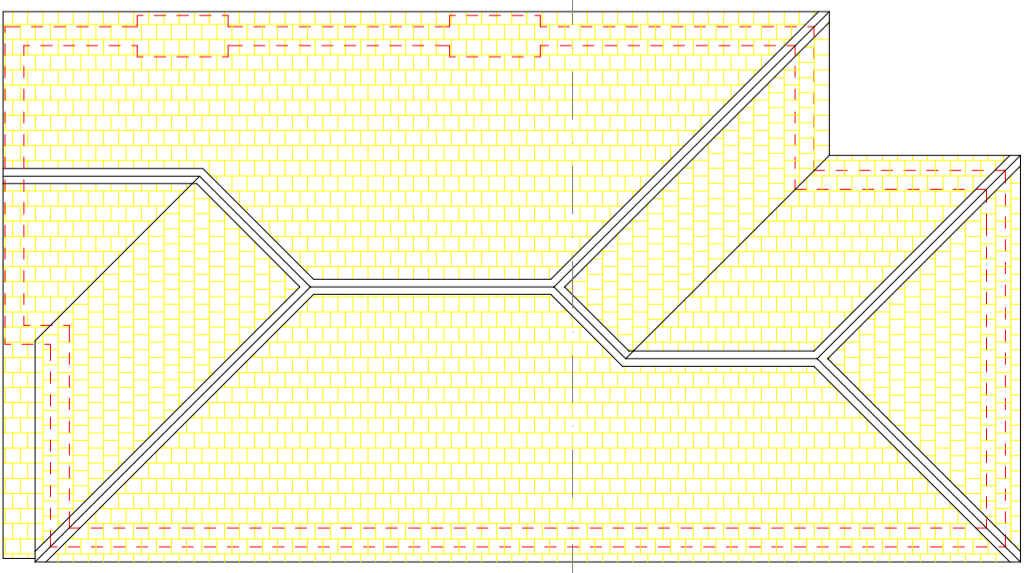


GROUND FLOOR PLAN

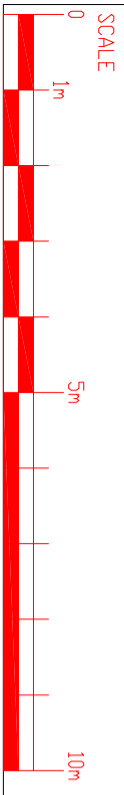
EXISTING
PARAPET
ABOVE THE
SHARED
PARTY WALL



FIRST FLOOR PLAN



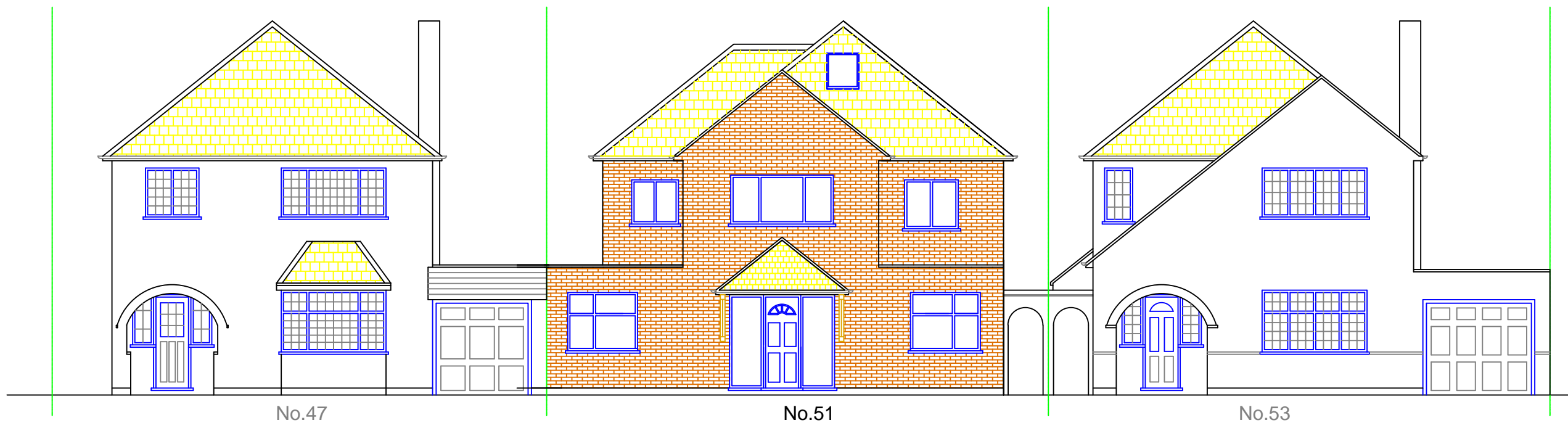
ROOF PLAN



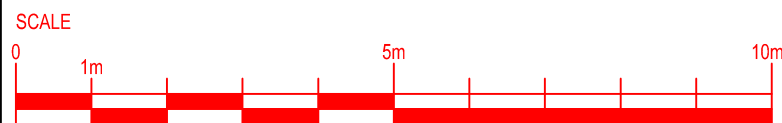


40 WISE LANE
MILL HILL
NW7 2RE
M: 07946872537
info@homedesignltd.co.uk
www.homedesignltd.co.uk

title		PROPOSED PLANNING ELEVATIONS STREET VIEW IN RELATION TO ADJOINING PREMISES	
project		51 BROOKDENE AVENUE - WD19 4LG	
drawing no	ABC161/902	REV	
drawn by	R. L	contract no. ABC161	
scale	1:100 @ A3	date 02/2022	



FRONT STREET VIEW ELEVATION





40 WISE LANE
MILL HILL
NW7 2RE

M: 07946872537

info@homedesignltd.co.uk
www.homedesignltd.co.uk

PROPOSED PLANS

title	40 WISE LANE			
project	51 BROOKDENE AVENUE - WD19 4LG			
drawing no	ABC161/805	REV	A	
drawn by	R. L	contract no.	ABC161	
scale	1:100 @ A3		date	02/2022

PLANNING PERMISSION WAS GRANTED ON 03rd AUGUST 2021, UNDER REF: 20/ 1061 /FUL

DESCRIPTION: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation and associated alterations.

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PLANNING PERMISSION WAS GRANTED ON 24th MAY 2021, UNDER REF: 21/ 0737 /RSP

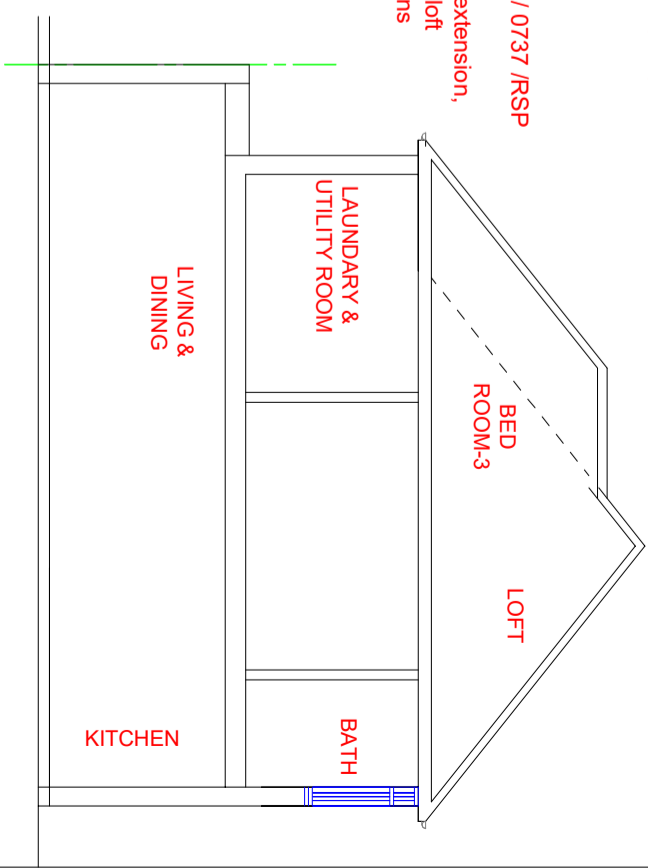
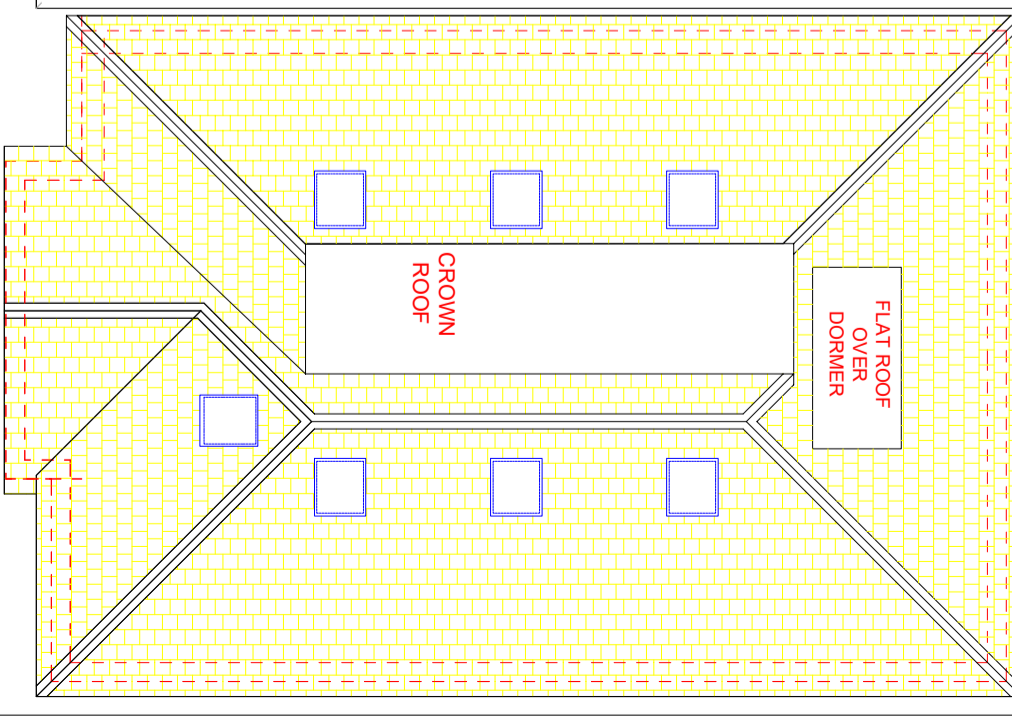
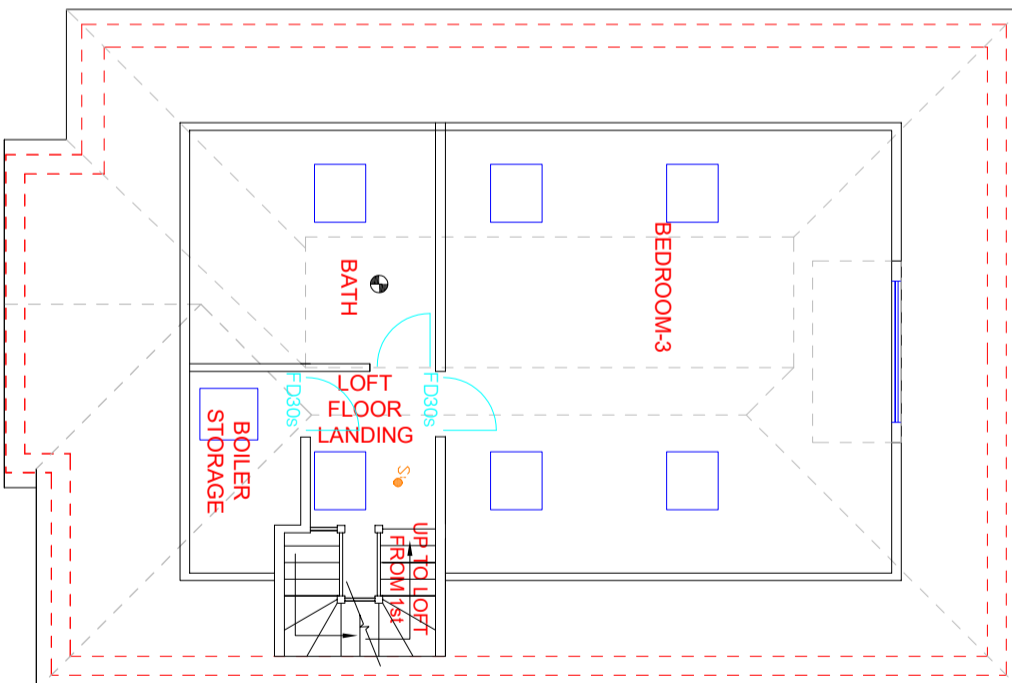
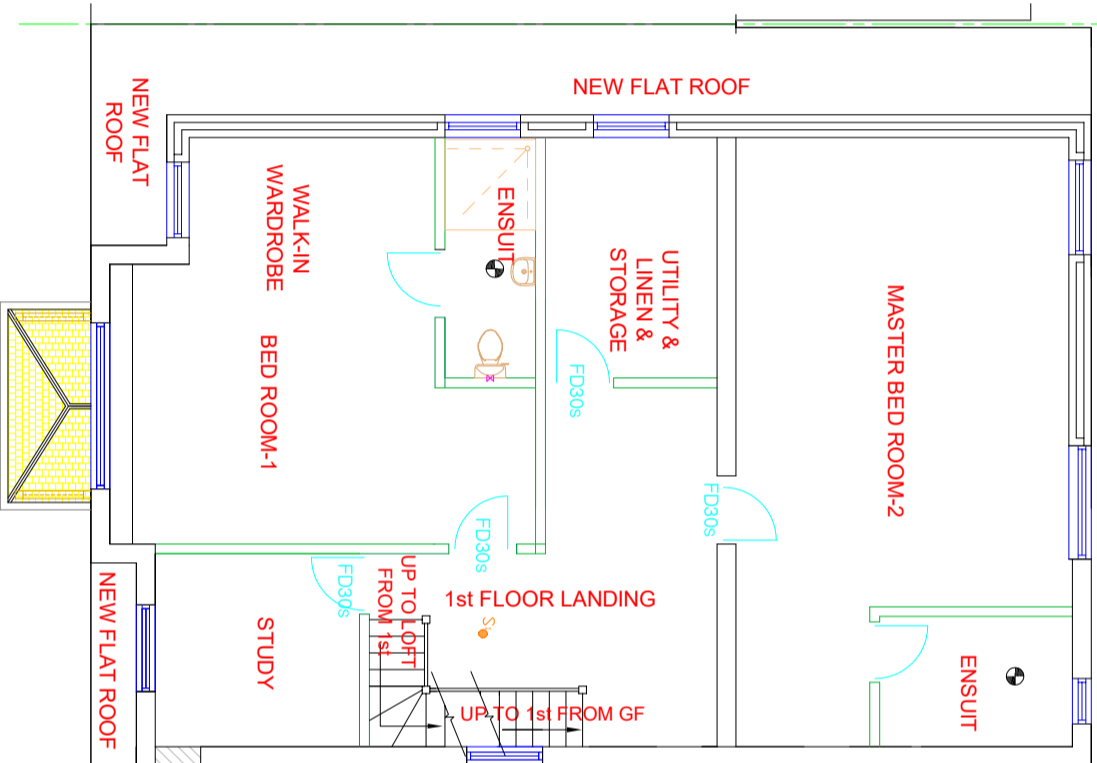
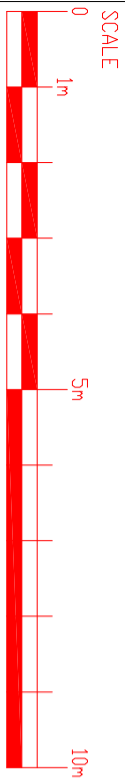
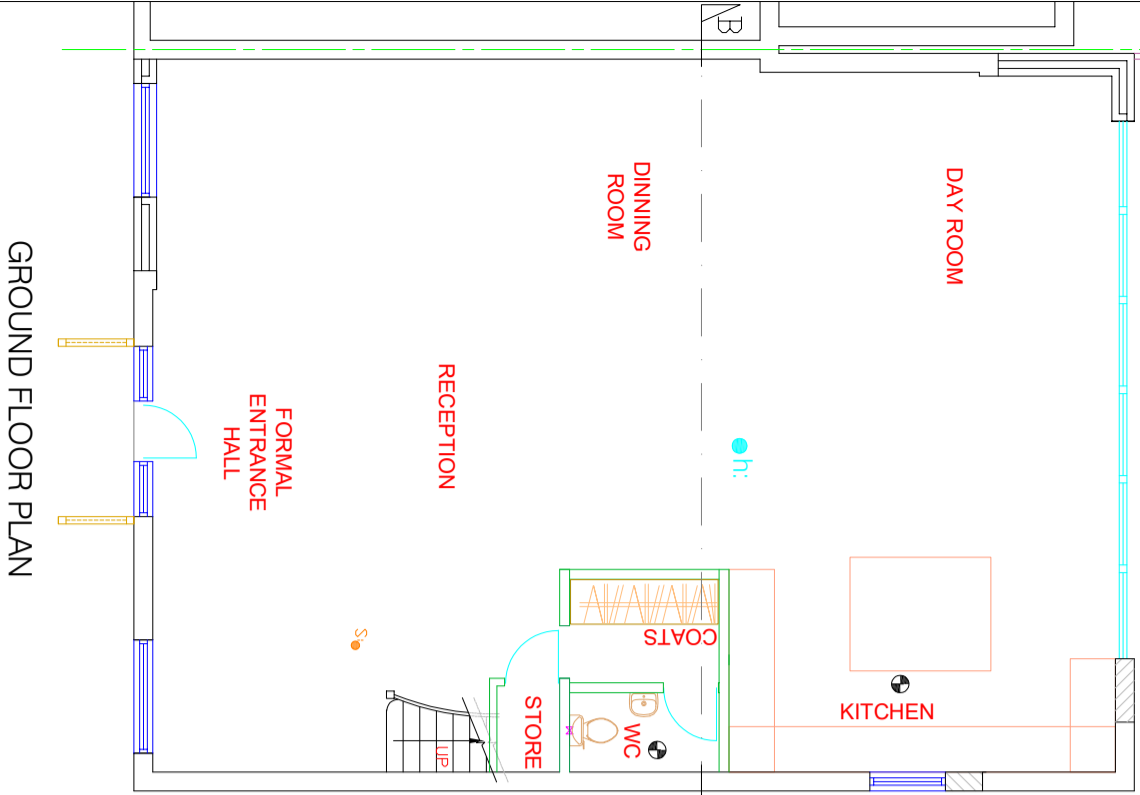
DESCRIPTION: Part Retrospective: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation, extension to roof and loft conversion including rear dormer and roof-lights and associated alterations

REAR GARDEN AREAS DOWN LEADING TO REAR GARDEN

INSTALL SCREENING TO EITHER SIDE OF THE PATIO AT A HEIGHT OF 1.7m FROM THE HEIGHT OF THE RAISED PATIO FOR ITS DEPTH (TO PREVENT OVERLOOKING TO EITHER NEIGHBOR) USING CLOSE BOARDED TIMBER FENCE WITH INTERMEDIATE TIMBER POSTS

RAISED PATIO AT SAME LEVEL TO INTERNAL FINISH LEVEL OF MAIN HOUSE SAME AS ORIGINAL RAISED PATIO LEVEL

1500





HOMES DESIGN

40 WISE LANE
MILL HILL
NW7 2RE
M: 07946872537
info@homedesignltd.co.uk
www.homedesignltd.co.uk

PROPOSED ELEVATIONS
title
project 51 BROOKDENE AVENUE - WD19 4LG
drawing no ABC161/806
drawn by R.L
scale 1:100 @ A3
REV A
contract no. ABC161
date 02/2022

PLANNING PERMISSION WAS GRANTED ON 03rd AUGUST 2021, UNDER REF: 20/ 1061 /FUL

DESCRIPTION: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation and associated alterations.

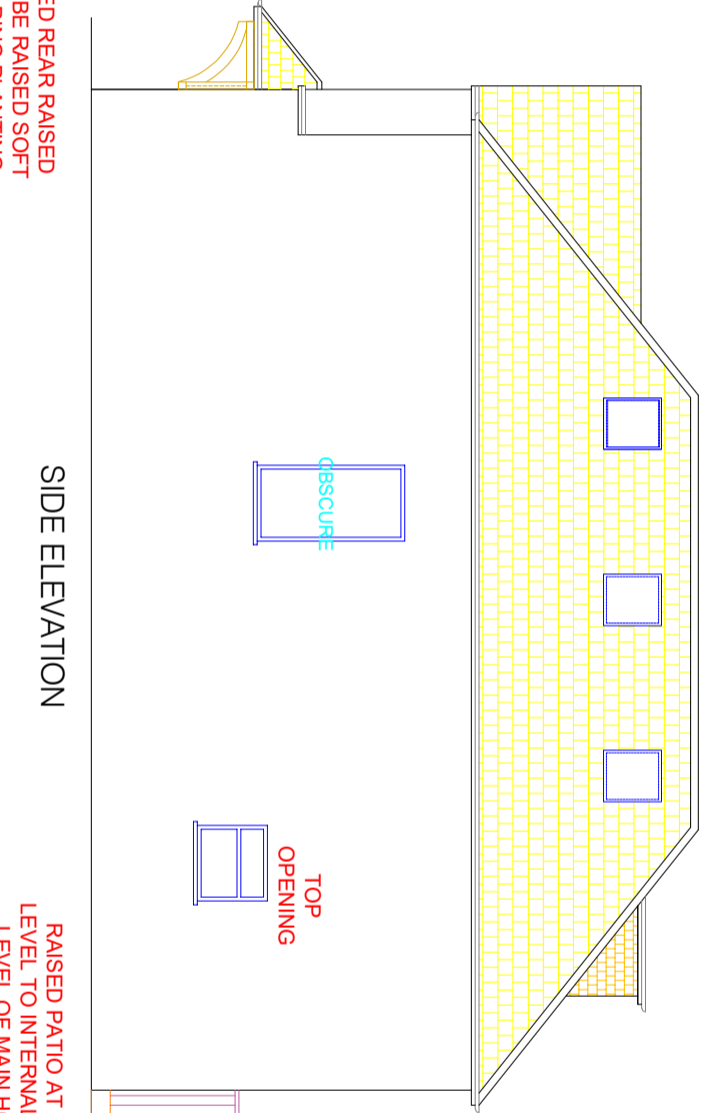
PLANNING PERMISSION WAS GRANTED ON 24th MAY 2021, UNDER REF: 21/ 0737 /RSP

DESCRIPTION: Part Retrospective: Single storey and two storey side and rear extension, conversion of garage to habitable accommodation, extension to roof and loft conversion including rear dormer and roof-lights and associated alterations



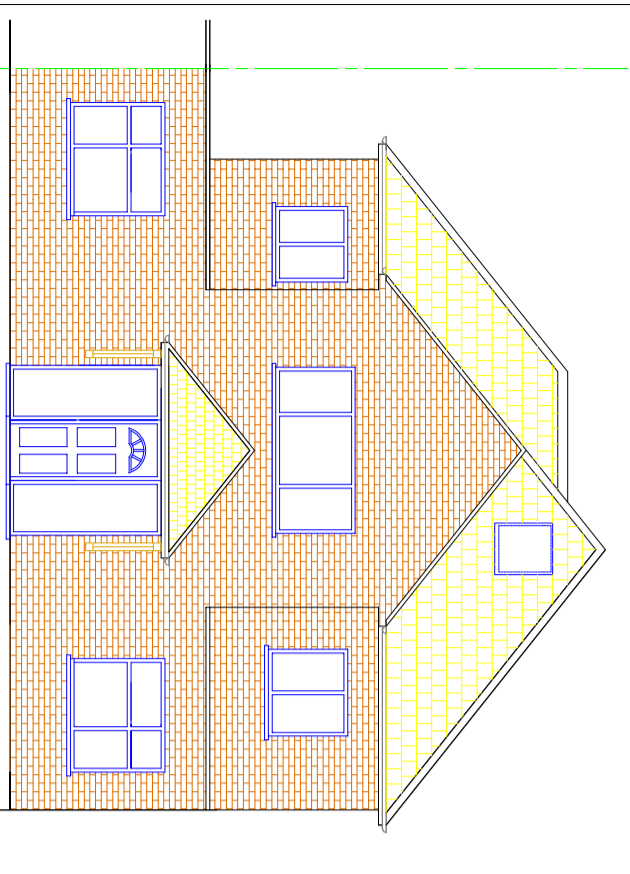
PROPOSED REAR RAISED PATIO TO BE RAISED AT A HEIGHT OF 1.7m FROM THE HEIGHT OF THE RAISED PATIO FOR ITS DEPTH (TO PREVENT OVERLOOKING TO EITHER NEIGHBOR) USING CLOSE BOARDED TIMBER FENCE WITH INTERMEDIATE TIMBER POSTS

PROPOSED REAR RAISED PATIO TO BE RAISED SOFT LANDSCAPING PLANTING USING FLOWER BEDS OF ROSES AND EVER-GREEN LOW HEDGES



PROPOSED REAR RAISED PATIO TO BE RAISED AT A HEIGHT OF 1.7m FROM THE HEIGHT OF THE RAISED PATIO FOR ITS DEPTH (TO PREVENT OVERLOOKING TO EITHER NEIGHBOUR)

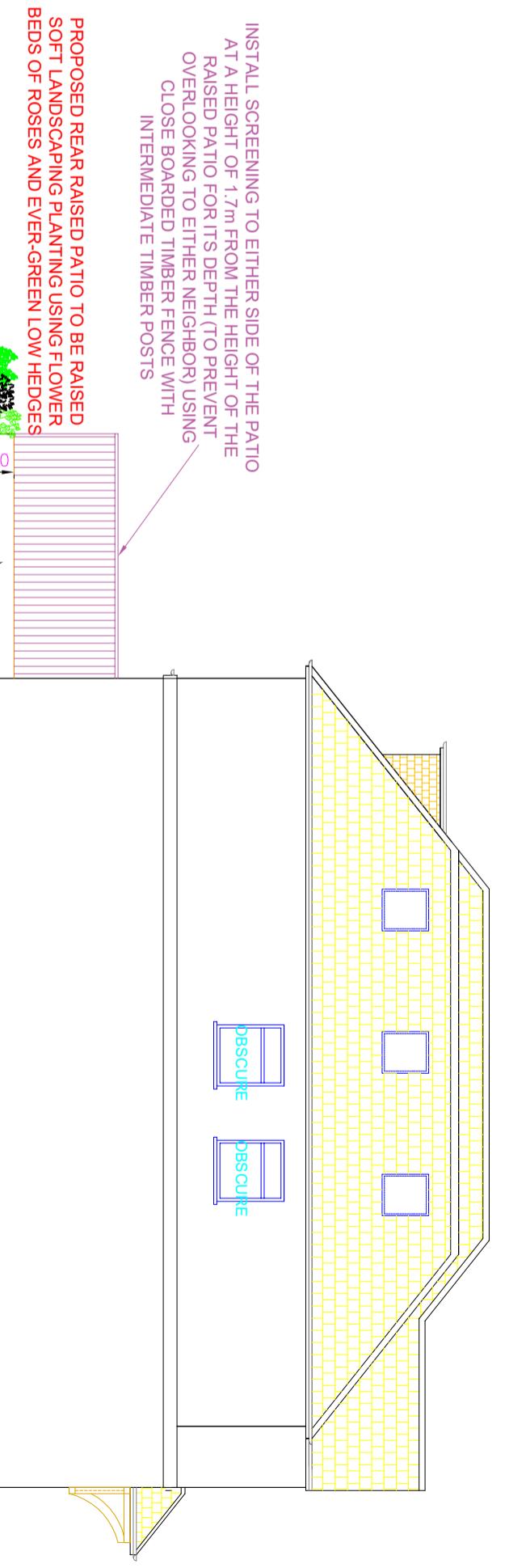
PROPOSED REAR RAISED PATIO TO BE RAISED SOFT LANDSCAPING PLANTING USING FLOWER BEDS OF ROSES AND EVER-GREEN LOW HEDGES



INSTALL DARK FRAMED WINDOWS TO THE FRONT ELEVATION OF THE HOUSE



SCALE



INSTALL SCREENING TO EITHER SIDE OF THE PATIO AT A HEIGHT OF 1.7m FROM THE HEIGHT OF THE RAISED PATIO FOR ITS DEPTH (TO PREVENT OVERLOOKING TO EITHER NEIGHBOR) USING CLOSE BOARDED TIMBER FENCE WITH INTERMEDIATE TIMBER POSTS

PROPOSED REAR RAISED PATIO TO BE RAISED SOFT LANDSCAPING PLANTING USING FLOWER BEDS OF ROSES AND EVER-GREEN LOW HEDGES

PROPOSED REAR RAISED PATIO TO BE RAISED AT A HEIGHT OF 1.7m FROM THE HEIGHT OF THE RAISED PATIO FOR ITS DEPTH (TO PREVENT OVERLOOKING TO EITHER NEIGHBOUR)

PROPOSED REAR RAISED PATIO TO BE RAISED SOFT LANDSCAPING PLANTING USING FLOWER BEDS OF ROSES AND EVER-GREEN LOW HEDGES