

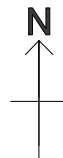


23 Copthorne Road, Rickmansworth,
Croxley Green, Hertfordshire, WD3 4AB

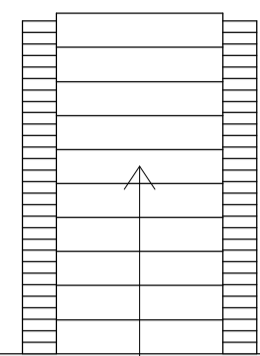
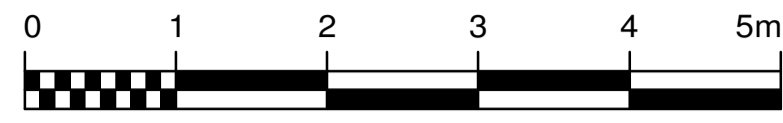
OS MasterMap 1250/2500/10000 scale
Thursday, August 6, 2020, ID: CM-00893360
www.centremapslive.co.uk

1:1250 scale print at A4, Centre: 506634 E, 195348 N

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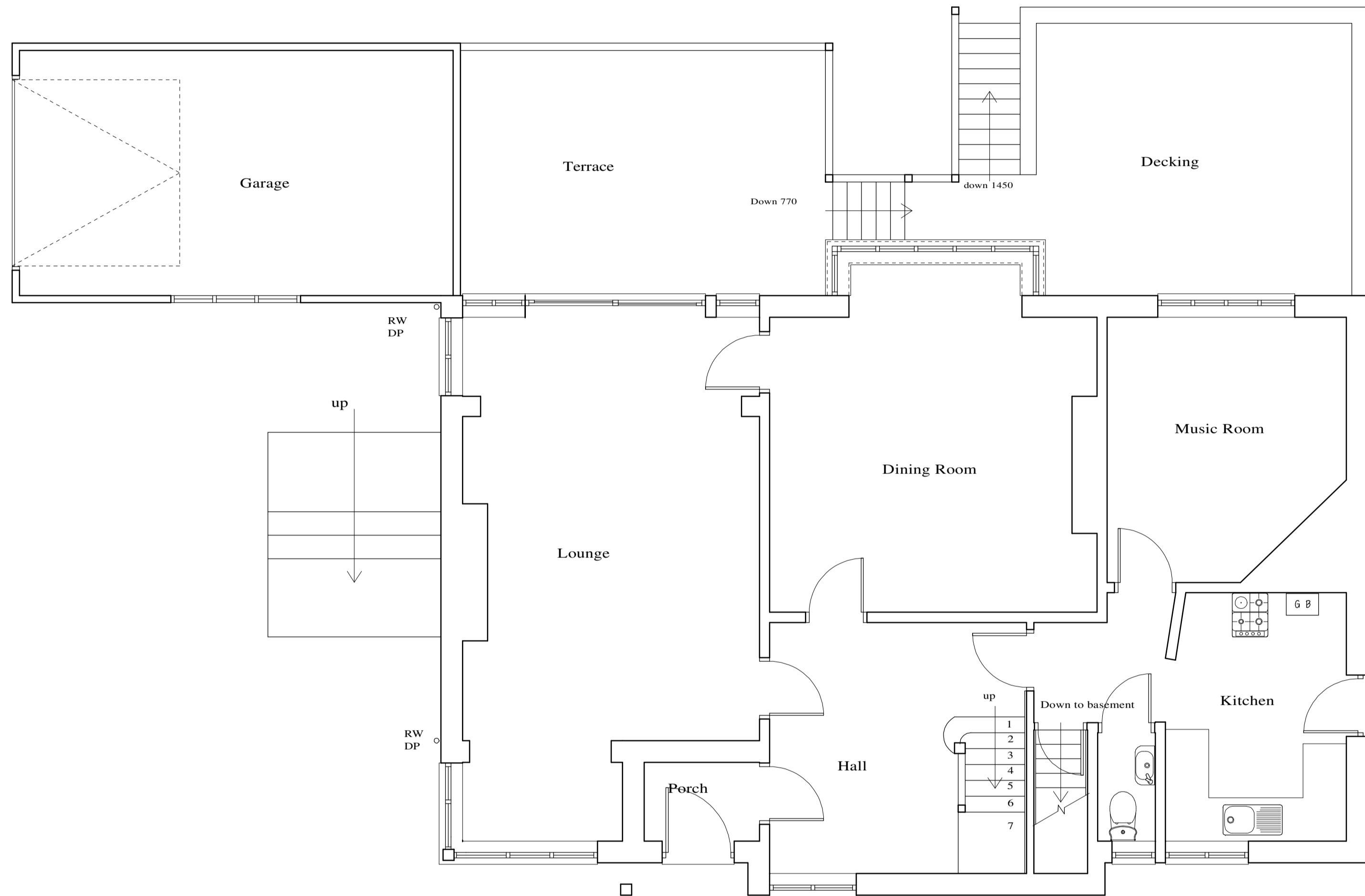
FOR A BETTER POINT OF VIEW



bank down to grass level

Down 1550

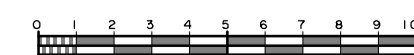
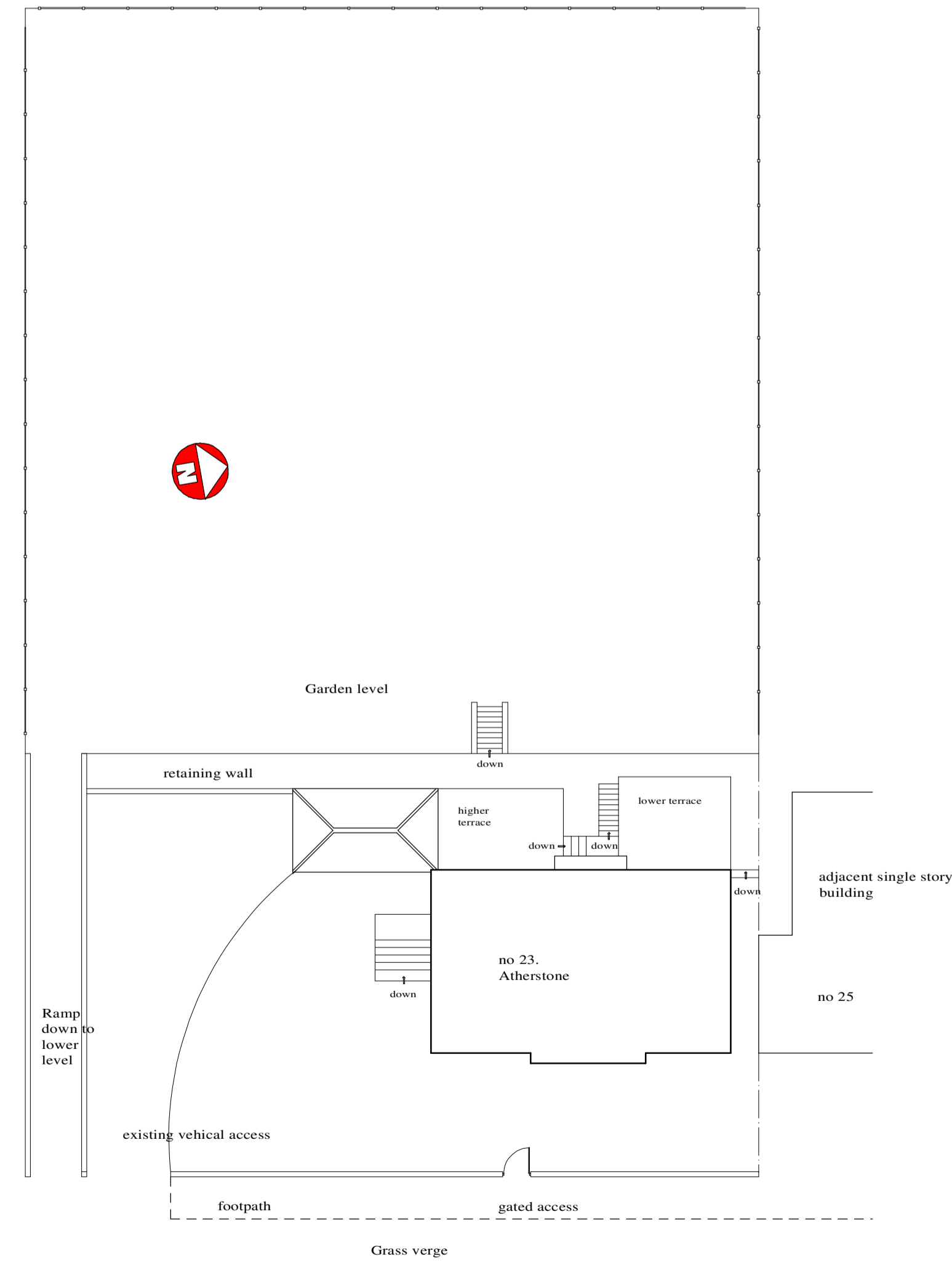
low level path



Adjacent single story building

Down

Ground Floor

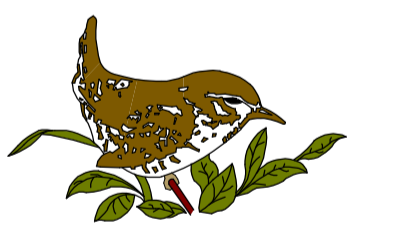


Copthorne Road

ALL FINISHES TO BE SPECIFIED BY CLIENT BUT ARE GENERALLY TO MATCH EXISTING HOUSE

N.B. All dimensions to be checked prior to commencement of work, any discrepancies to be reported back to me.

This drawing is for planning and Building Regulations purposes only. Everyday hazards likely to be obvious to a competent contractor and unforeseeable hazards and risks have not been indicated.



Wren Designs
 Planning & Building Consultants • Land Agent
 Tel: 01442 263081
 1 Thistlecroft, Hemel Hempstead, Herts HP1 1PB

CLIENT: Mr and Mrs Bonnamy

PROPOSED: Existing plans
 Ground Floor

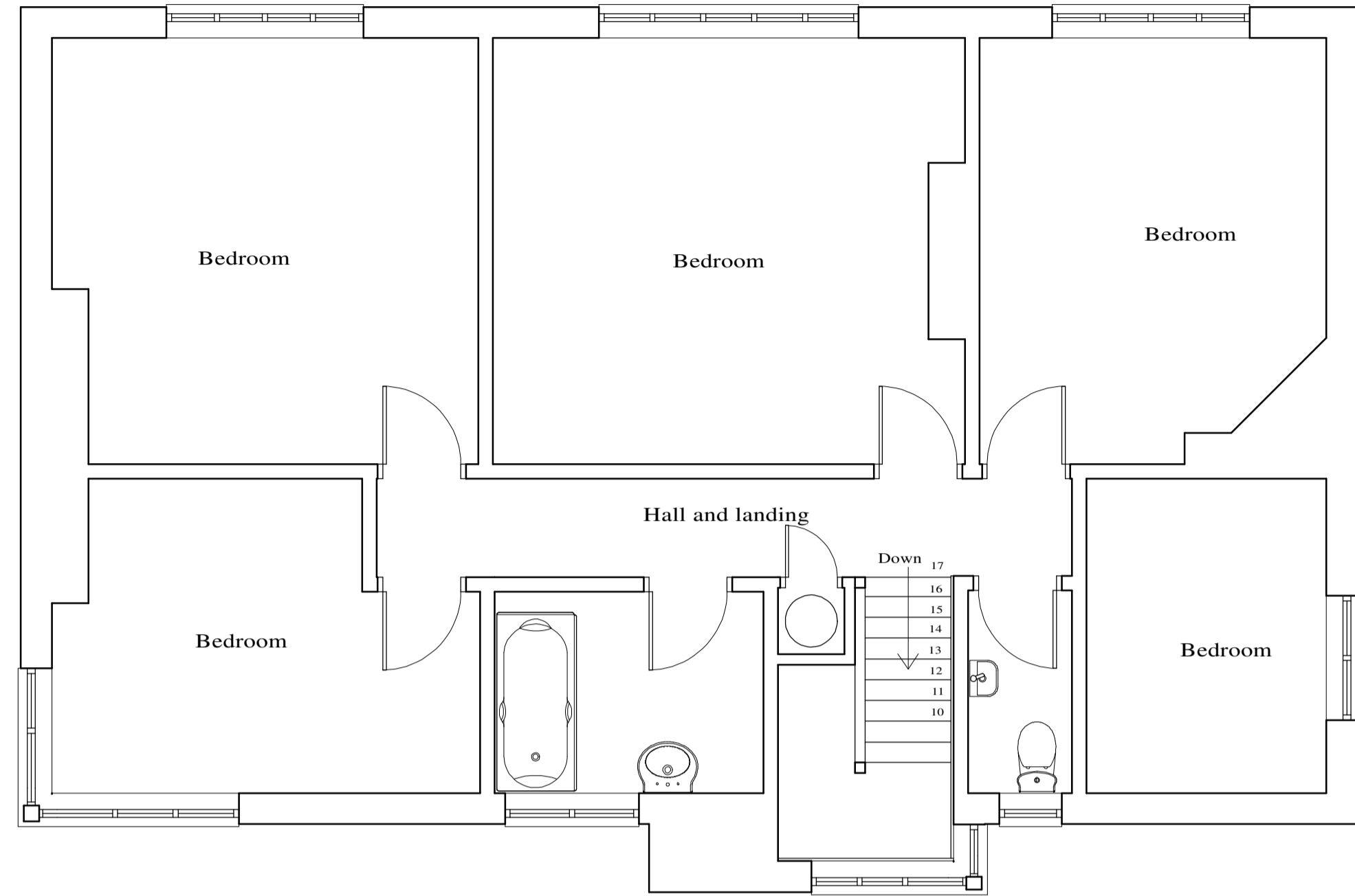
LOCATION: Atherstone, 23 Copthorne Road,
 Croxley Green

SCALE: 1:50, 1:200

DATE: 23/07/2020

REF: wren naj 054 2020

REVISION:



First Floor



Front

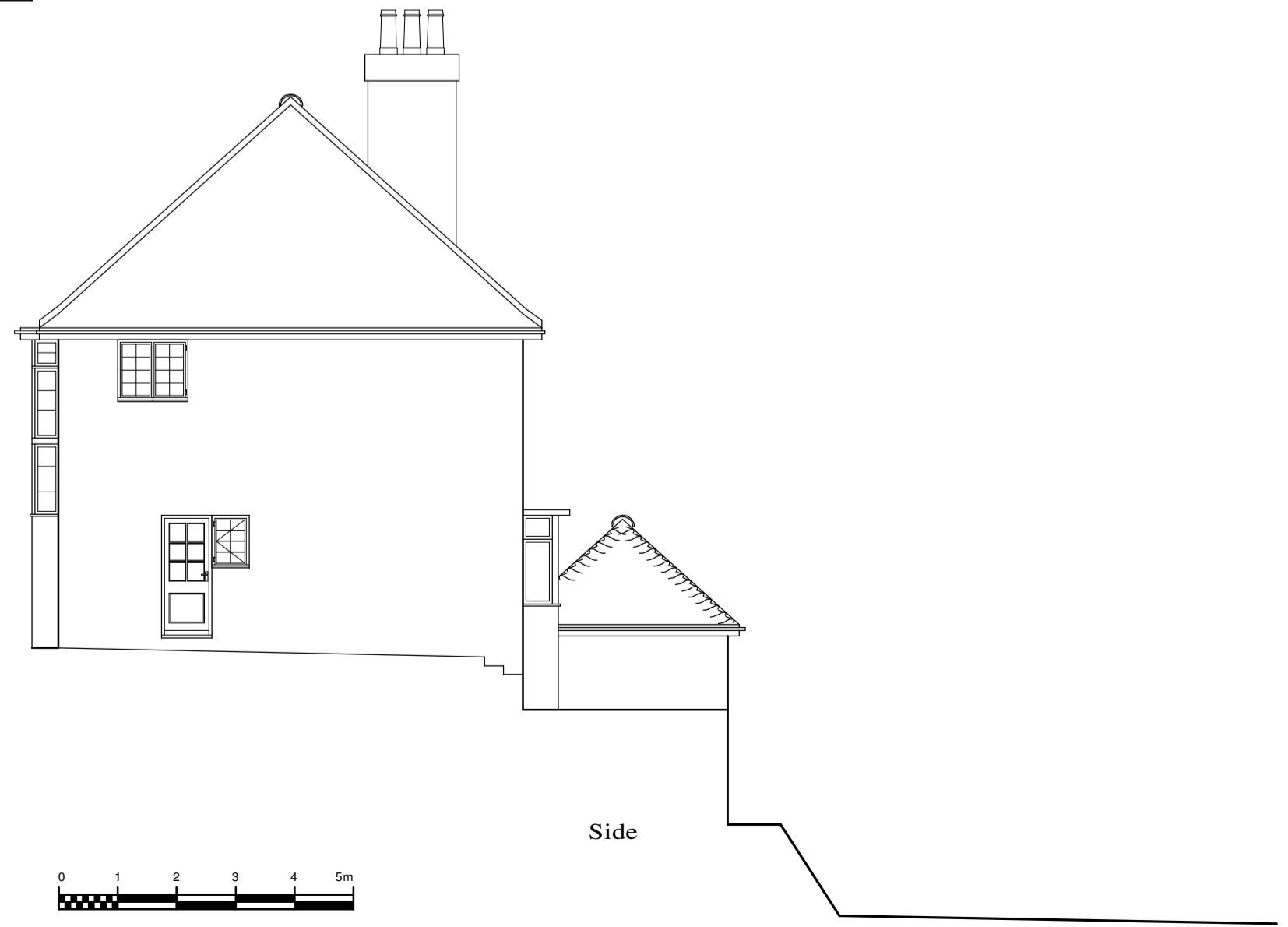
Roof tiles are plain clay tiles
 Windows are timber.
 Walls are painted rough cast render



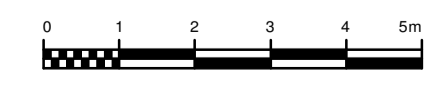
Side



Rear



Side



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 HOUSE

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CLIENT: Mr and Mrs Bonnamy

PROPOSED:
 Existing plans
 First floor and elevations

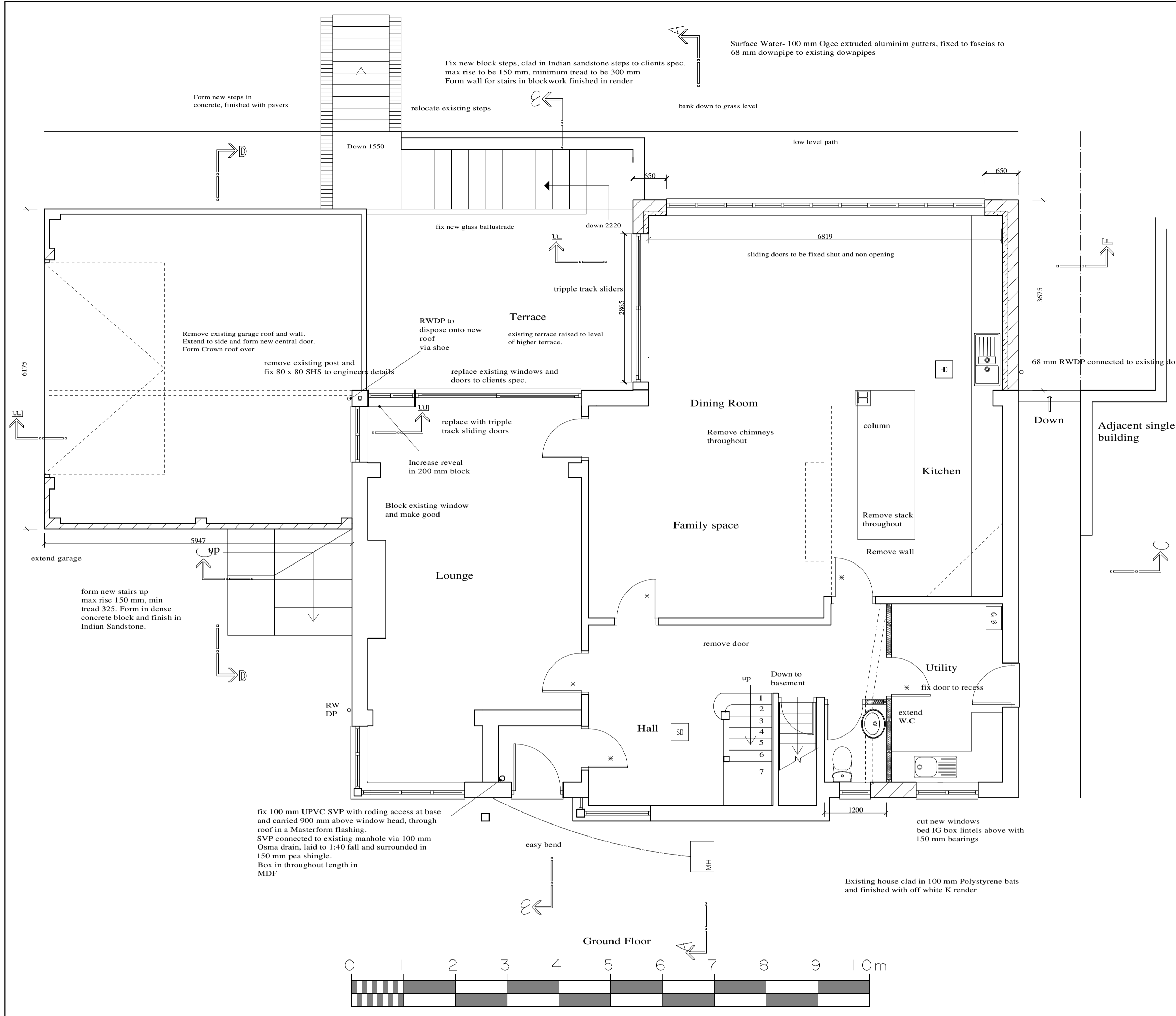
LOCATION: Atherstone, 23 Cophorne Road,
 Croxley Green

SCALE: 1:50, 1:100, 1:200

DATE: 23/07/2020

REF: wren naj 054a 2020

REVISION:

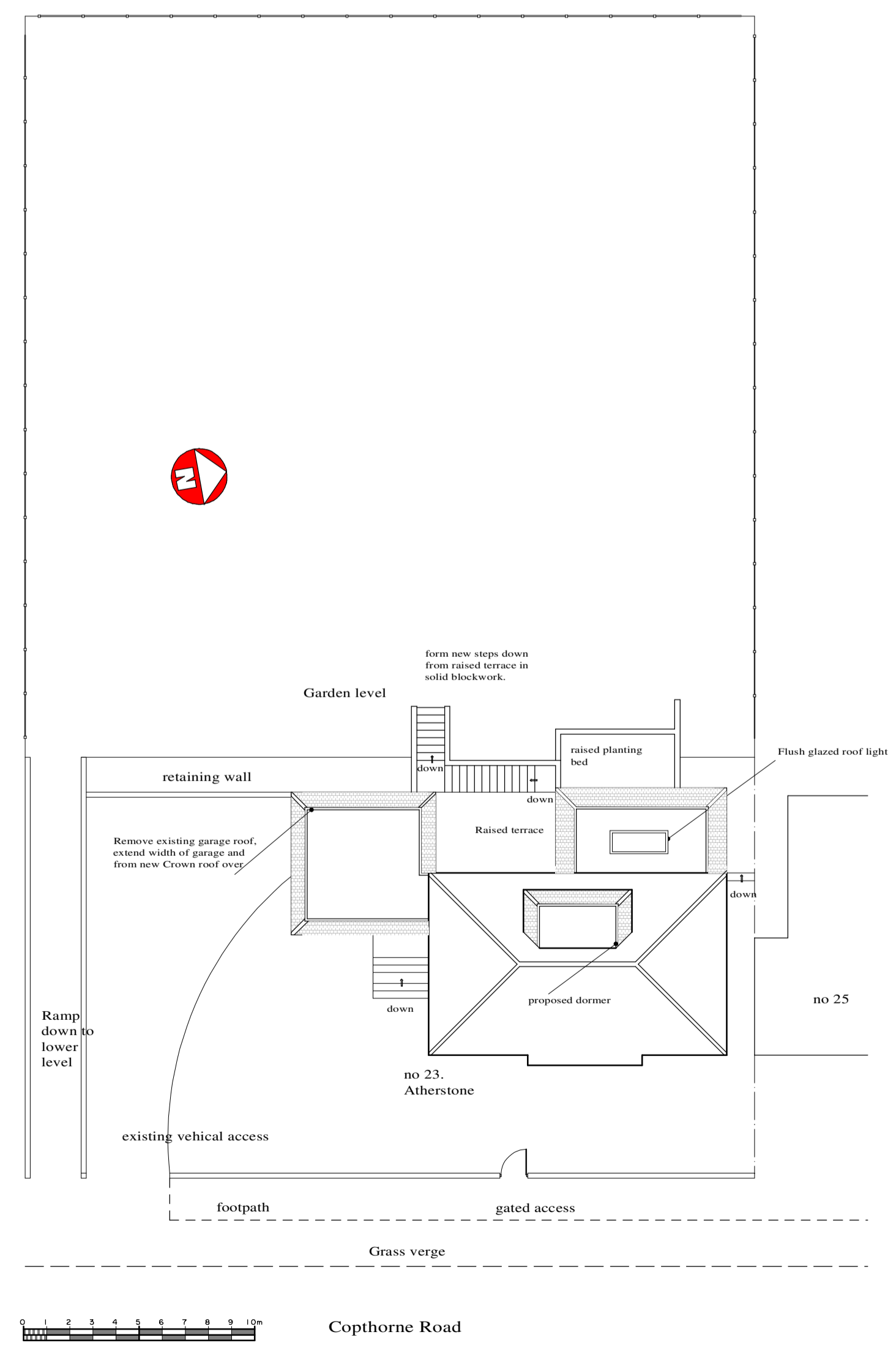


All windows in timber to be double glazed with toughened glass to BS 6202 and Part K of the Regulations. Double glazing to have a 16mm Argon frame unit and to exceed 1.6M/msq. Fix 8000mm sq trickle vents above heads. Fix egress windows to bedroom windows to provide a clear and unobstructed opening of 850 x 550 to approved document B

Plumbing.
Ground floor W.C, family W.C En-suit W.C. to existing stack via 100 mm waste. Shower, bath and W.H.B's to stack via 75 mm deep seal trap and 50 mm wastes, fixed to walls with roding access at change of direction. Washing machine in Utility to existing stack via 75 mm deep seal trap and 38 mm waste. Kitchen sink and dish washer to new rodable BIG via 75 mm deep seal trap and 38mm waste. BIG connected back to drain where original BIG has been removed, connection to be agreed with B.C.O. via 100 mm Osma drain, laid to 1:40 fall and surrounded in 150 mm pea shingle. Vent: W.C. Kitchen, Utility, bathroom and ensuite with mechanical extract fan capable of changing 60 litres of air per minute and ducted externally, operated with light switch with a 20 minute over run. Kitchen vented through cooker hood.

All electrical work required to meet the requirements of Part P ((Electrical safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion The Council should be satisfied that Part P has been complied with. This may require an appropriate BS 7671 electrical installation certificate to be issued for the work by a person competent to do so. 100% of all new light fittings are to be low energy type.

- SD Fit interlinked smoke detector connected to regularly used lighting circuit and provided with battery backup to clause 1.8 approved Document B
- * All doors to habitable rooms off of stairwell to be half hour fire resisting. Fix 25 x 38 stops glued and screwed to frames. Secure intumescent strips to doors.
- HD Heat detector

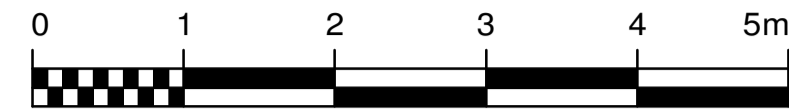


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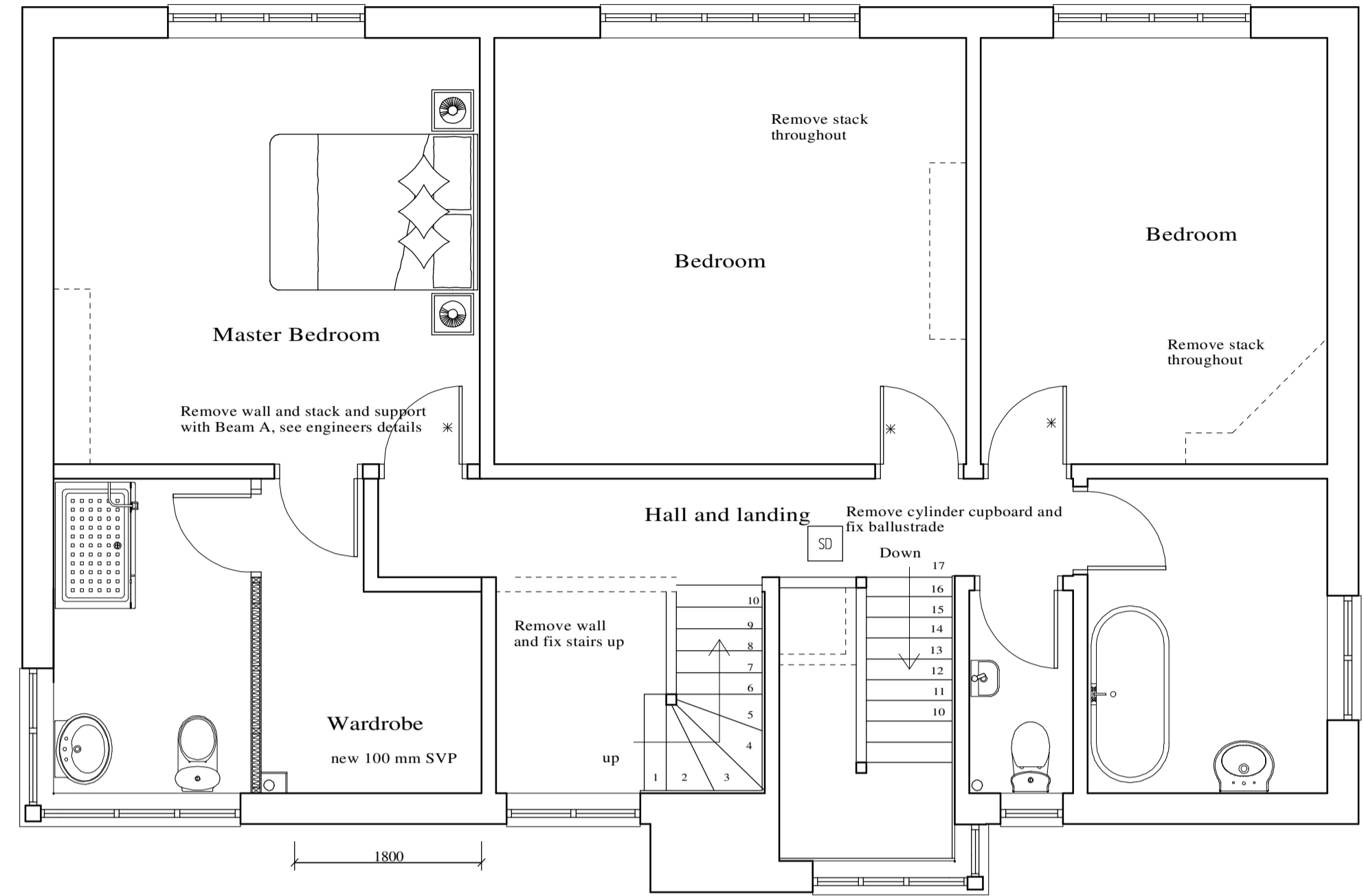
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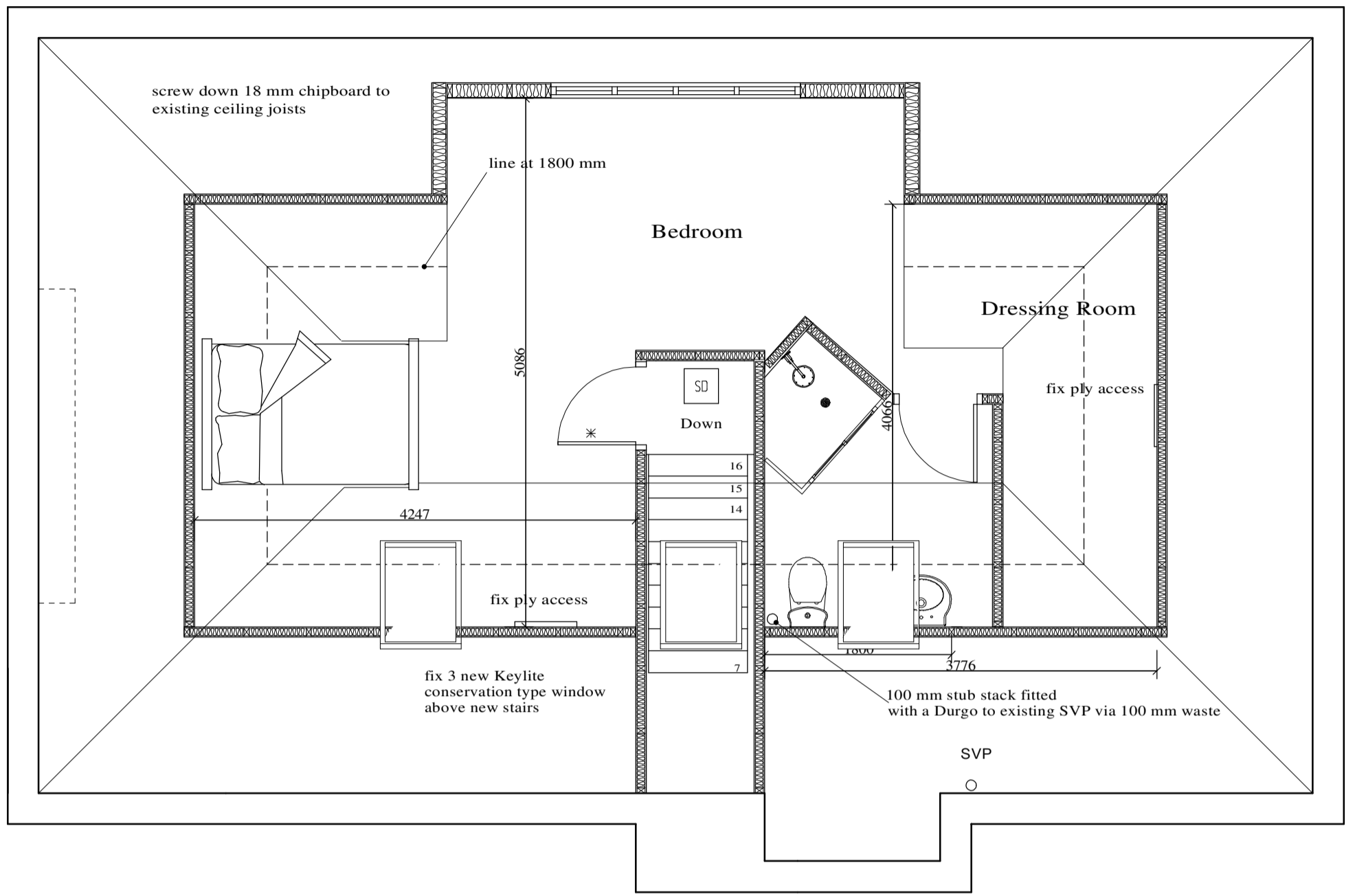
 Wren Designs Planning & Building Consultants • Land Agent Tel: 01442 263081 1 Thistlecroft, Hemel Hempstead, Herts HP1 1PB	
CLIENT:	Mr and Mrs Bonnamy
PROPOSED:	Single story side and rear extension and loft conversion alterations to fenestration raising of existing rear terrace and gaurding.
LOCATION:	Atherstone, 23 Copthorne Road, Croxley Green
SCALE:	1:50, 1:100, 1:200
DATE:	10/12/2021
REF:	wren naj 054c 2020
REVISION:	F



- * All doors to habitable rooms off of stairwell to be half hour fire resisting. Fix 25 x 38 stops glued and screwed to frames.
- SD Fit interlinked smoke detector connected to regularly used lighting circuit and provided with battery backup to clause 1.8 approved Document B To under stairs electric cupboard



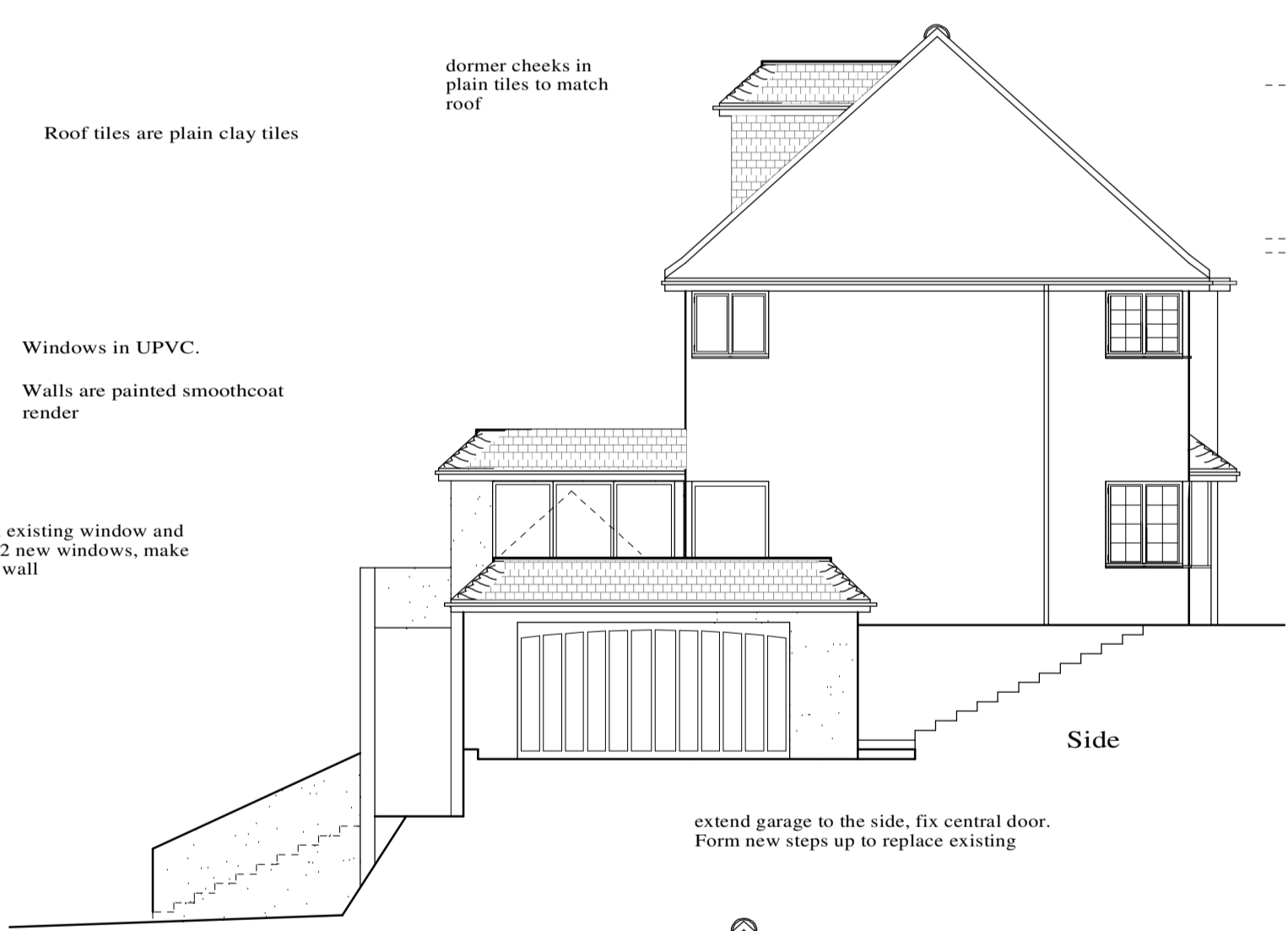
First Floor



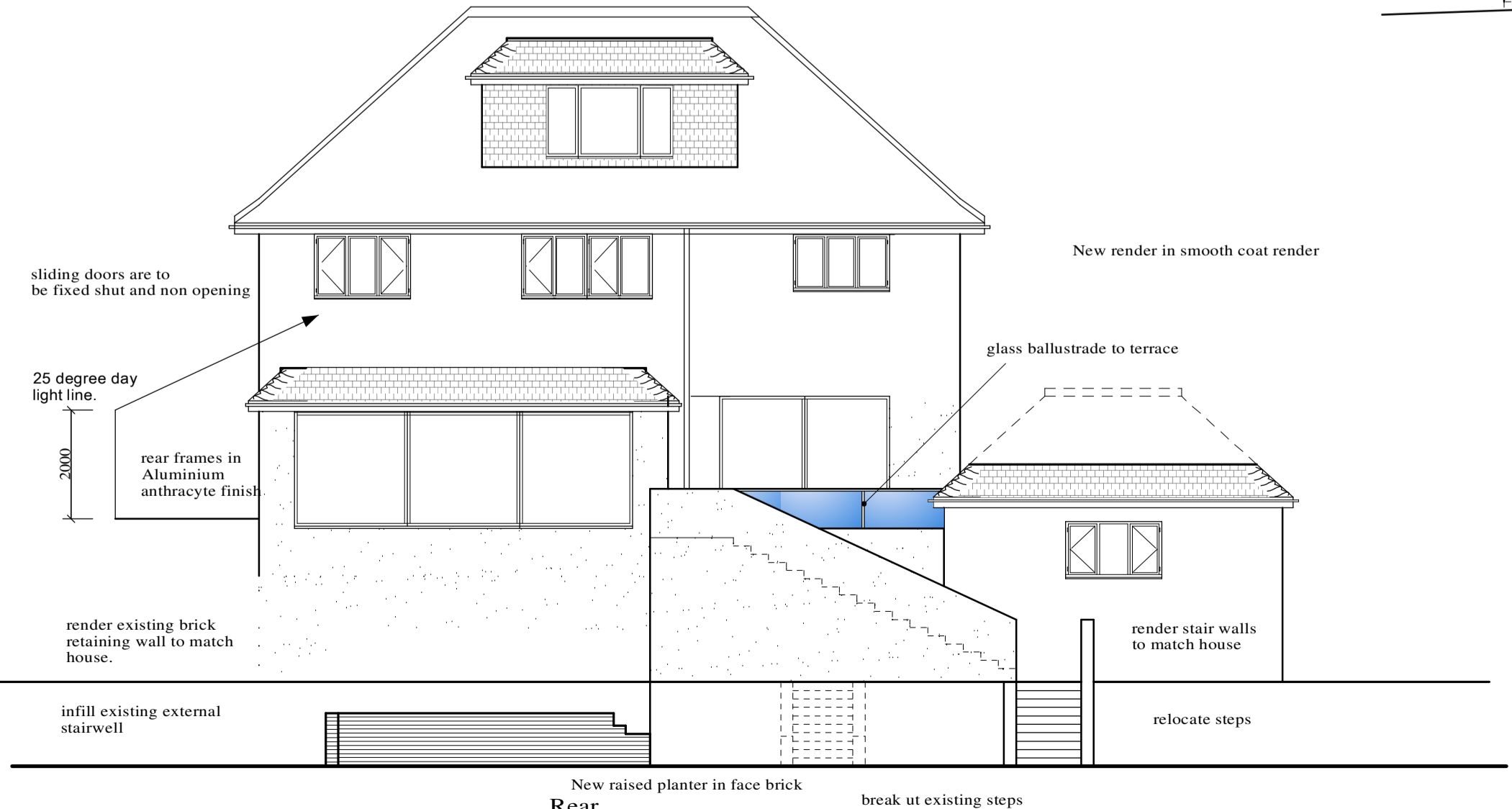
Attic Room



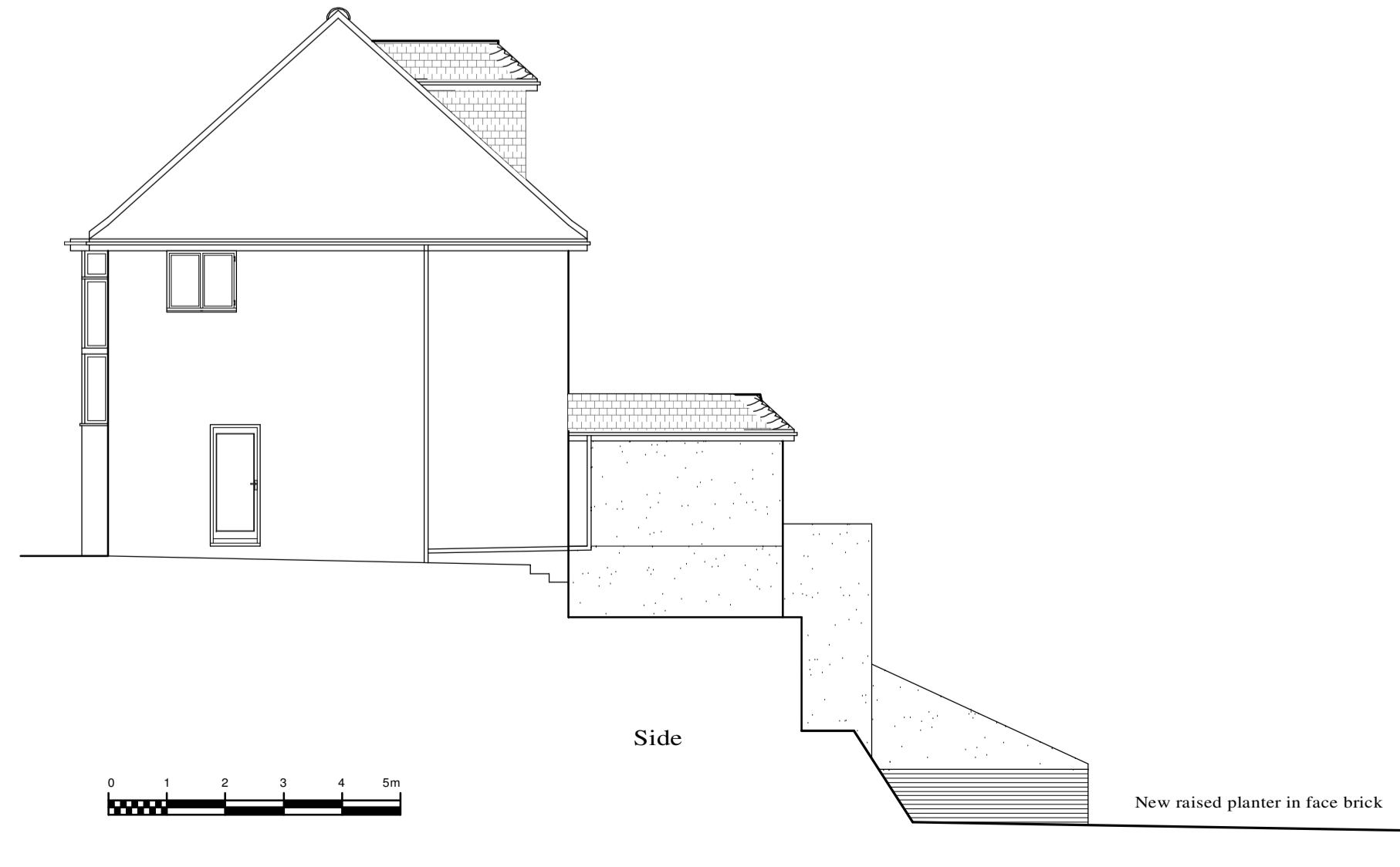
Front



Side



Rear



Side

Walls between rooms and eaves in 100 x 50 sw studs fixed at 400 x 600 horiz Cts between continuous 100 x 50 top and bottom plates, at corners fix 100sq posts, built off of steel beams to support existing rafters. Fix 9mm ply. Between studs fix 100 mm Celotex GA4075 flush with the back of the studs leaving a 25 mm cavity, fix Celotex TB4012 over inside face of the ply. Tape joints using Celotex insulation tape. Fix 12.5 mm plasterboard through 9mm ply into studs.

Form new stud walls in 100 x 50 sw studs fixed between 100 x 50 top and bottom plate at 400 x 600 horiz Cts. New walls built off of doubled joists bolted together at 600 Cts. Pack void between studs with dense mineral wool insulation and finish both sides with 12.5mm plasterboard and skim

Stairs to be in soft wood, closed plan 800mm wide between 25mm strings, fixed at 42 degrees with a minimum 220mm tread and a 189mm rise. Minimum tread around the 100 x 150 newel post to be 50 mm. Fix handrail 900mm above pitch line and fix ballusters, specified by client at 100mm Cts. Fix 12.5mm plasterboard and skim for soffit. Maintain minimum head height of 2 meters above new and existing stairs. New stairs are to match existing.

Plumbing
Take on suit. W.C to existing stack via 100 mm waste with roding access at change of direction, shower, bath and WHB to stack via 75 mm trap and 50 mm waste. Fix new roding access to be located at change of direction. Vent shower room with mechanical extract fans capable of changing 60 litres of air per minute, ducted externally and operated with light switch with a 20 minute over run. All new plumbing to new part G

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