

Site location



1:1250

Plot outline

Area of development

nettassets

Architectural Design & Development Consultants

Title

Bell Lane Bedmond, Abbots Langley WD5 0QS

Detail

Site Location Plan

Nett Assets
The Studio, 141 New Road,
Croxtley Green, Herts. WD3 3EN.
Tel:- 01923 293117. 07531 124528
Web:- www.nettassets.co.uk

Date November 2022

Job Ref 22071

Scale 1250 @ A1

Drg No. PL 05

Rev.

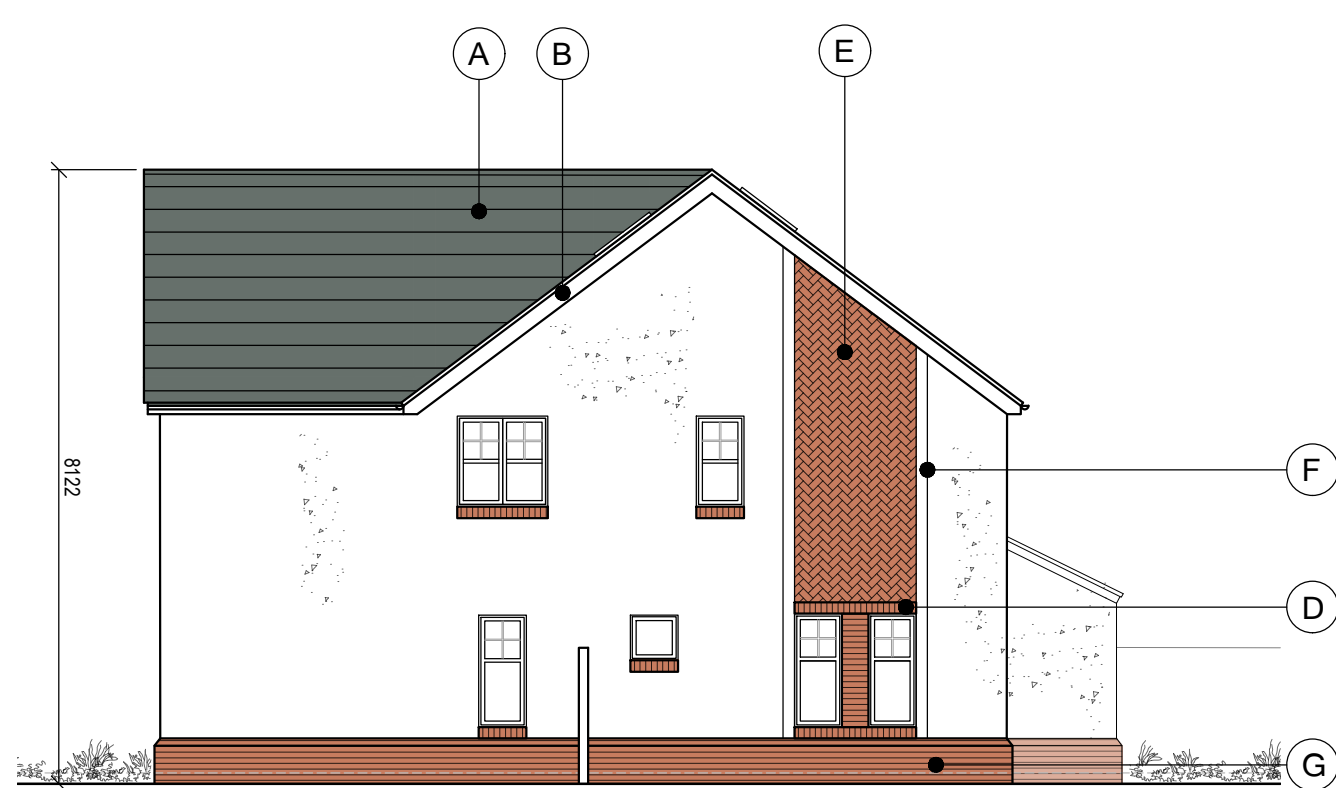
Dwelling O1



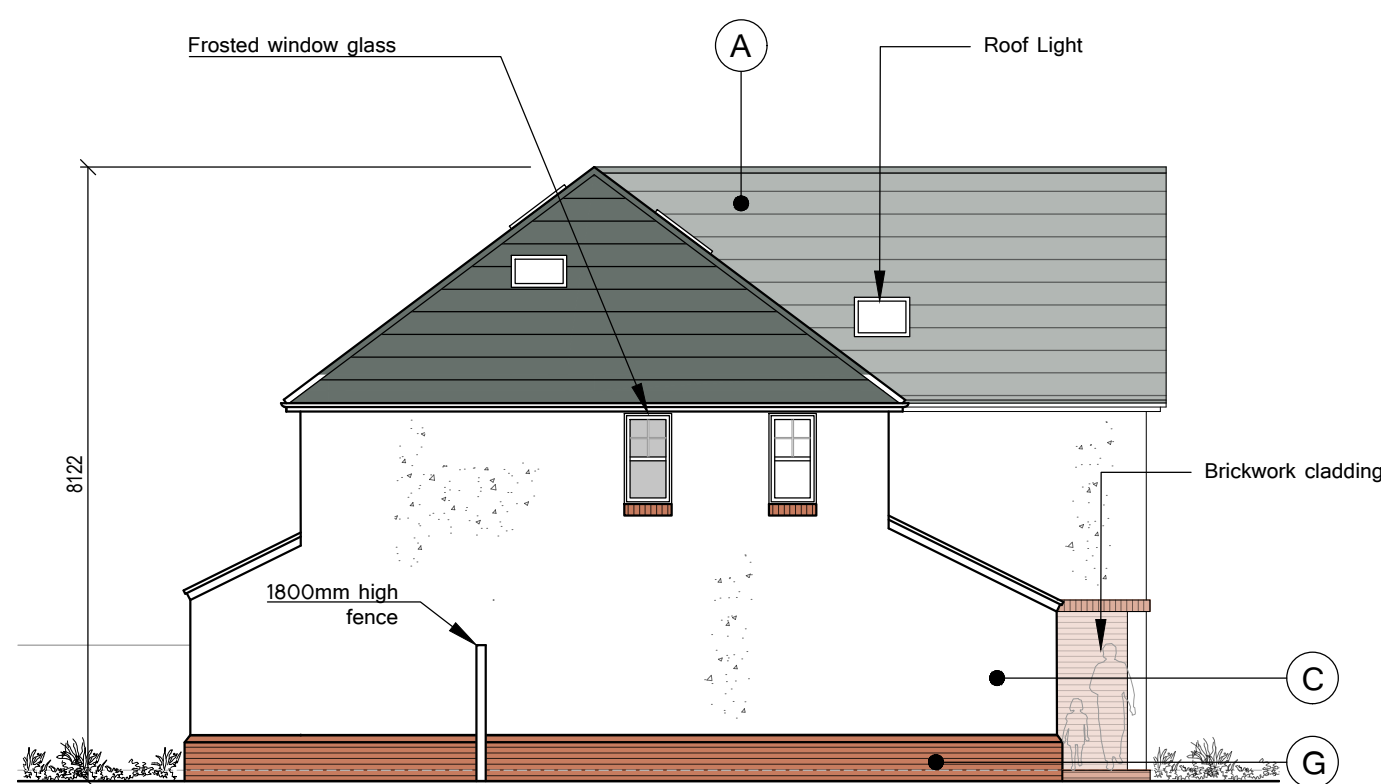
Proposed Front Elevation
1:100



Proposed Rear Elevation
1:100



Proposed Side Elevation
1:100



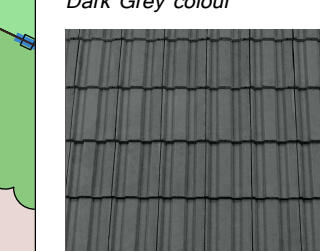
Proposed Side Elevation
1:100



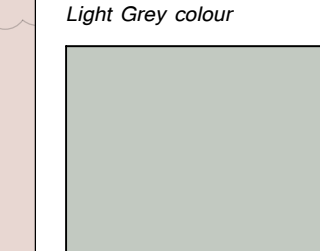
Proposed Ground Floor Plan
1:100

Materials Key:

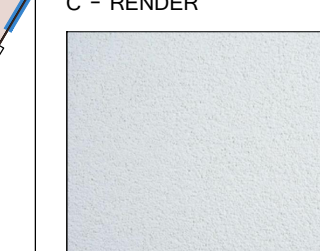
A - ROOF TILES
Dark Grey colour



B - ROOF EAVES & GUTTER
Light Grey colour



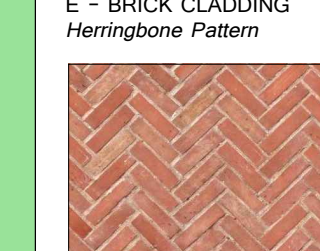
C - RENDER



D - BRICK HEADER
Over window and sill



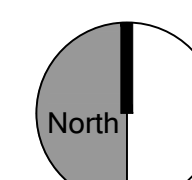
E - BRICK CLADDING
Herringbone Pattern



F - TIMBER FRAME
Light Grey colour



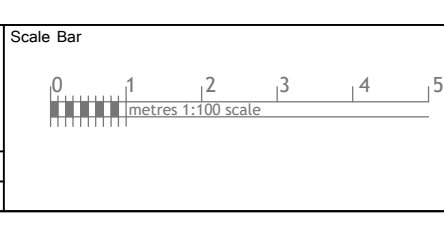
G - BRICK WORK PLINTH



2500
2400
2300
2200
2100
2000
1900
1800
1700
1600
1500
1400
1300
1200
1100
1000
900
800
700
600
500
400
300
200
100
0

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 210 220 230 240 250 paper scale (mm)

Rev	Date	Comments
A	01.02.2023	Crown roof and car port omitted. Plot 1 rear gable and first floor rear projection removed



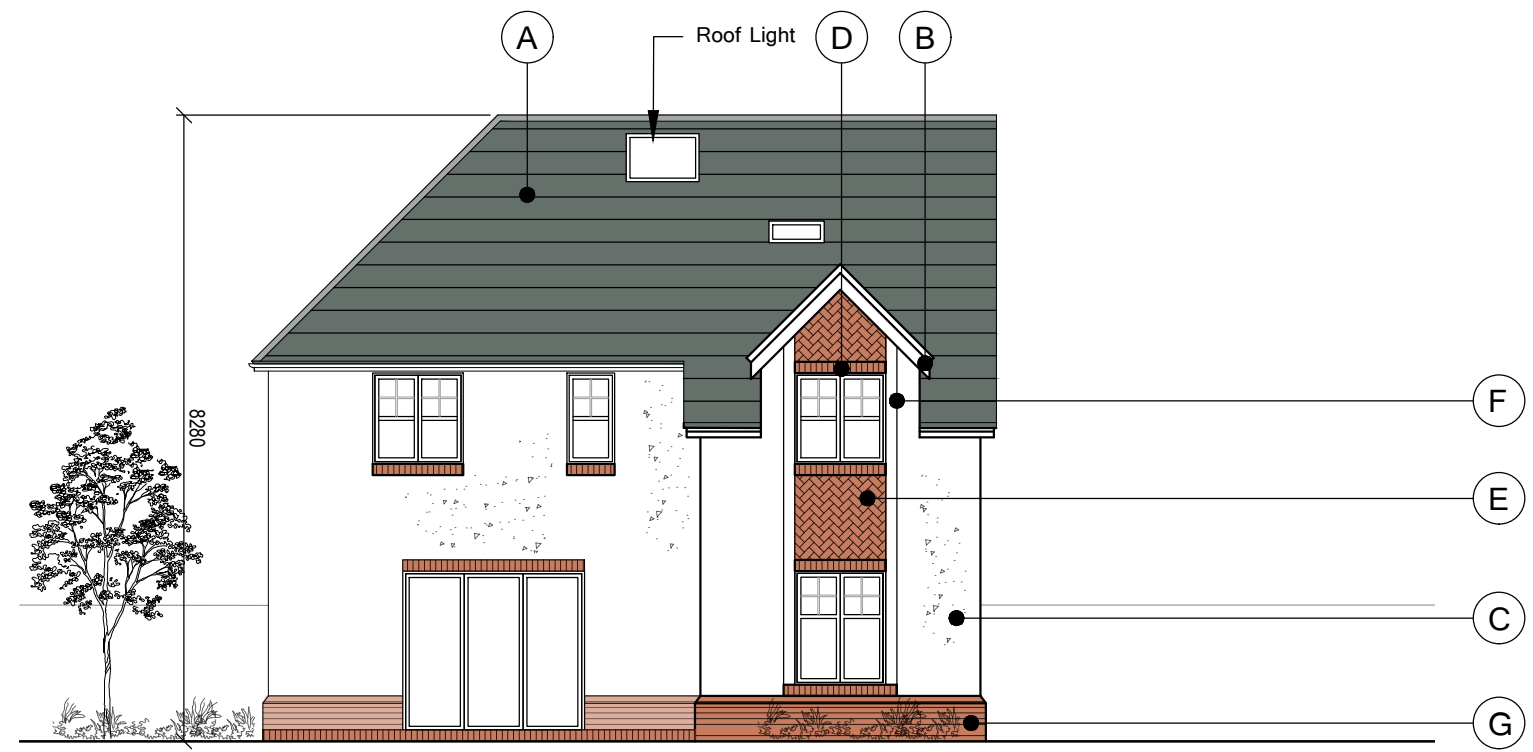
nettassets
Architectural Design & Development Consultants

Project: Bell Lane Bedmond, Abbots Langley WD5 0GS
Drawing Title: Proposed Ground Floor and Elevations Dwelling O1
Date: September 2022
Scale: 1:200 @ A1
Job Ref: 22071
Dig No: PL 02
Rev: A

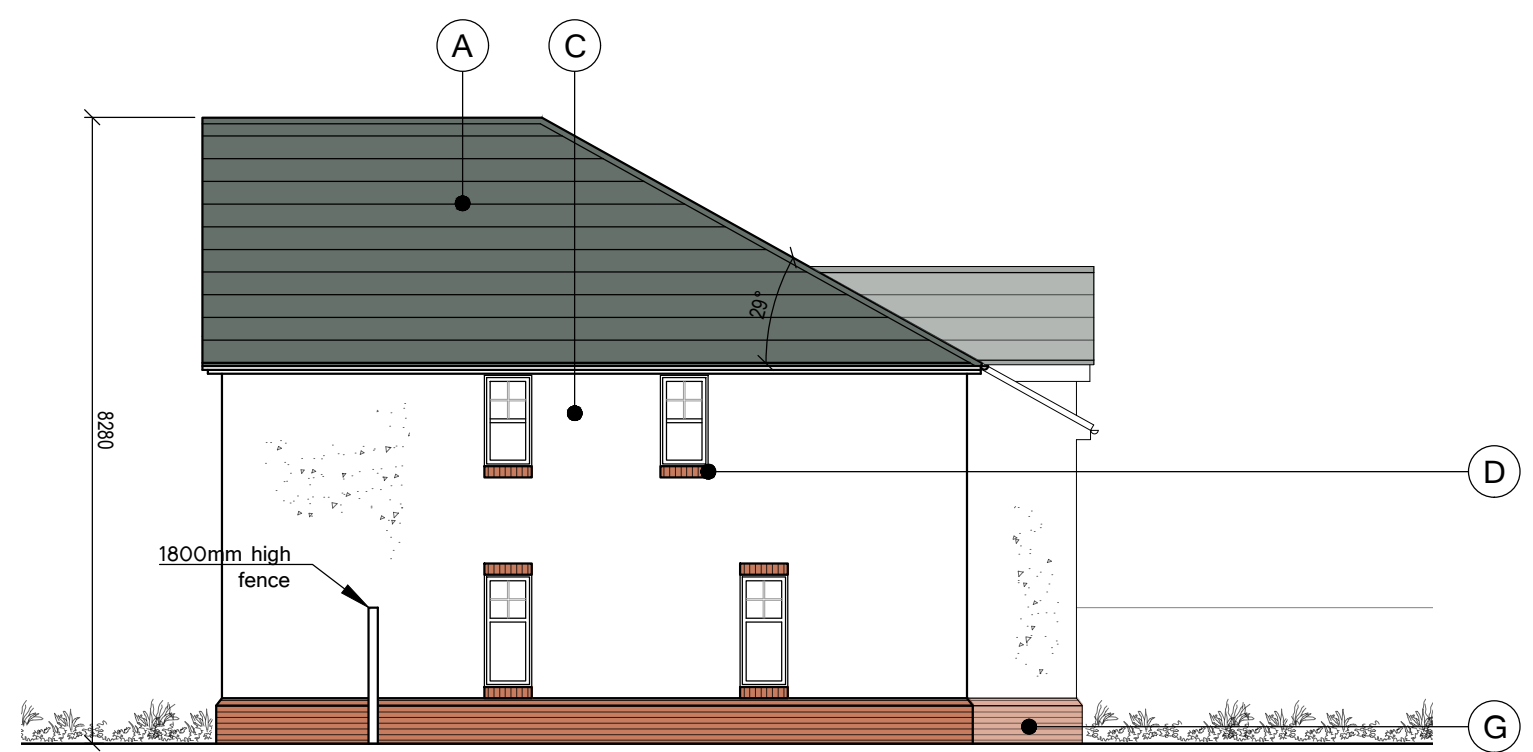
Dwelling O2



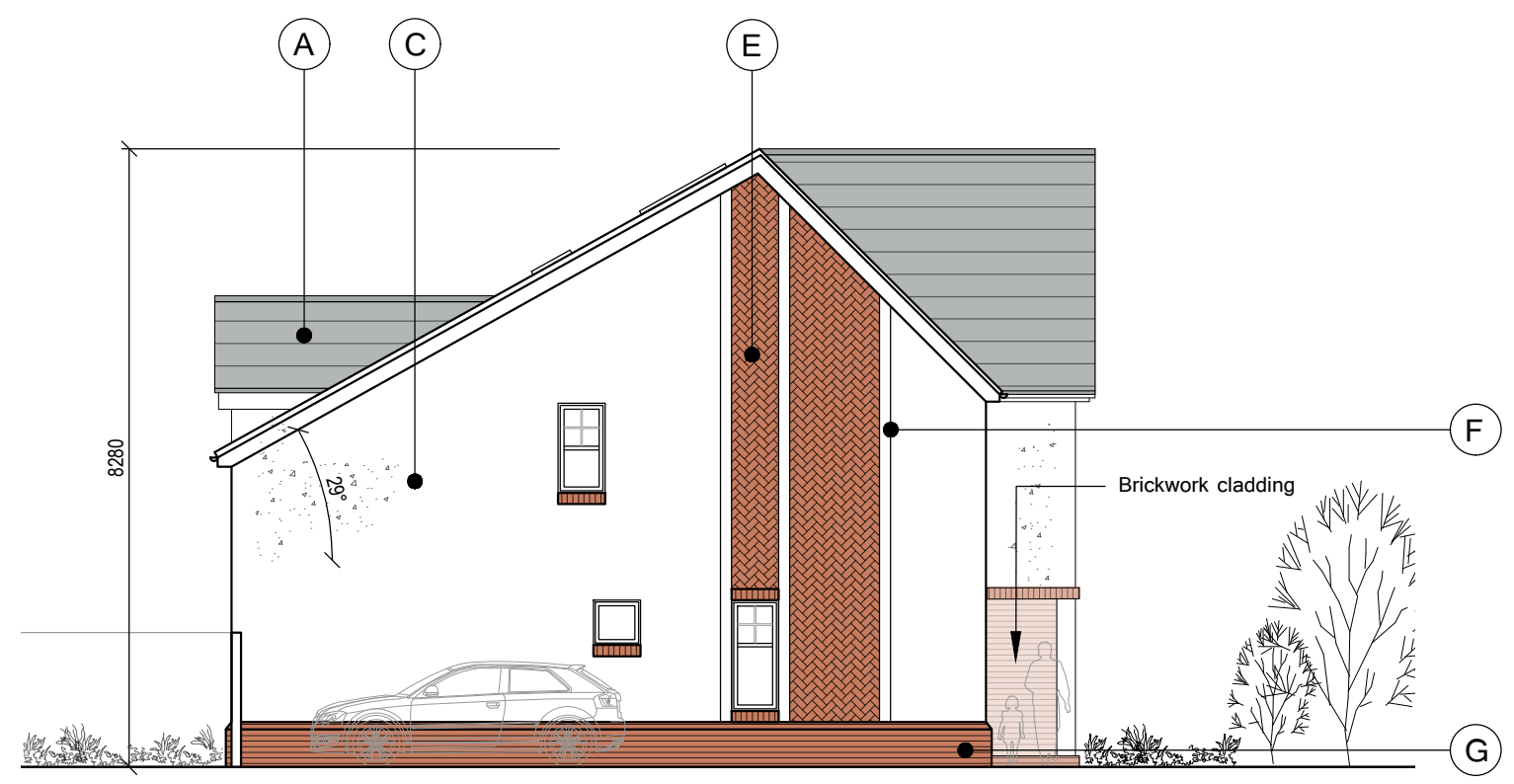
Proposed Front Elevation
1:100



Proposed Rear Elevation
1:100



Proposed Side Elevation
1:100



Proposed Side Elevation
1:100

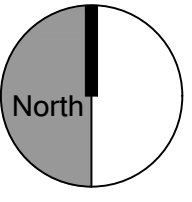


Proposed Ground Floor Plan
1:100

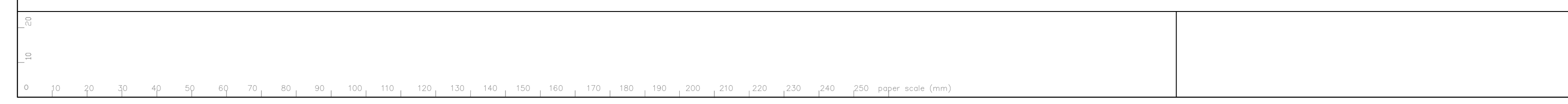
Materials Key:

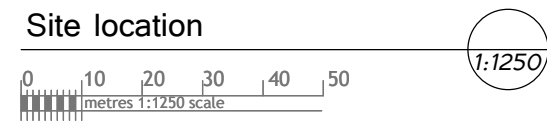
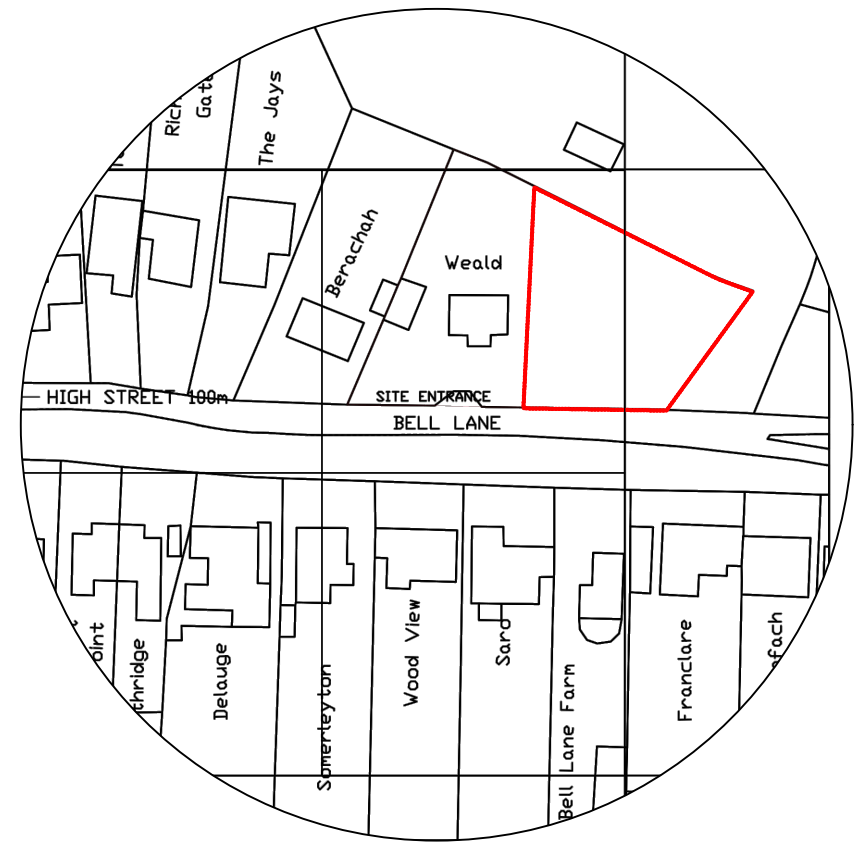
- A - ROOF TILES
Dark Grey colour
- B - ROOF EAVES & GUTTER
Light Grey colour
- C - RENDER
- D - BRICK HEADER
Over window and sill
- E - BRICK CLADDING
Herringbone Pattern
- F - TIMBER FRAME
Light Grey colour
- G - BRICK WORK PLINTH

BELL LANE

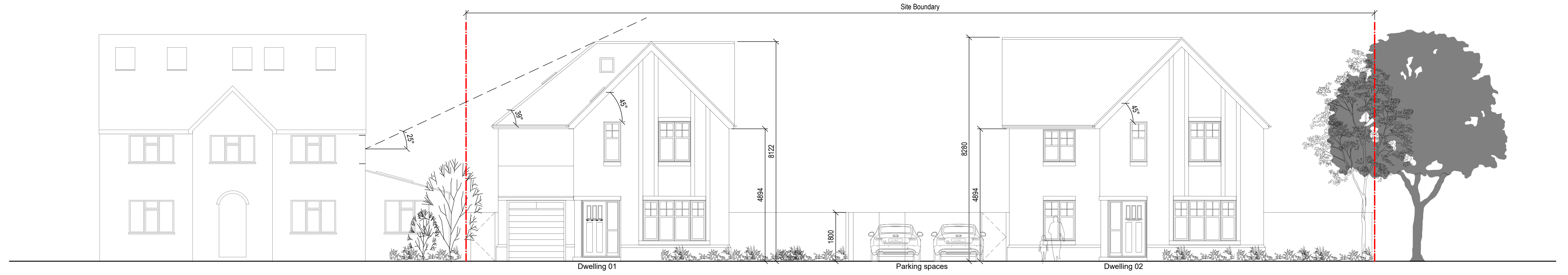


<p>Project: Bell Lane Bedmond, Abbots Langley WD5 0GS</p> <p>Drawing Title: Proposed First Floor and Elevations Dwelling O1</p>		<p>Date: September 2022</p> <p>Scale: 1:200 @ A1</p>		<p>Job Ref: 22071</p> <p>Rev: B</p>	
<p>Project: Bell Lane Bedmond, Abbots Langley WD5 0GS</p> <p>Drawing Title: Proposed First Floor and Elevations Dwelling O1</p>		<p>Date: September 2022</p> <p>Scale: 1:200 @ A1</p>		<p>Job Ref: 22071</p> <p>Rev: B</p>	
<p>Project: Bell Lane Bedmond, Abbots Langley WD5 0GS</p> <p>Drawing Title: Proposed First Floor and Elevations Dwelling O1</p>		<p>Date: September 2022</p> <p>Scale: 1:200 @ A1</p>		<p>Job Ref: 22071</p> <p>Rev: B</p>	





Site location view



Street scene 1:100



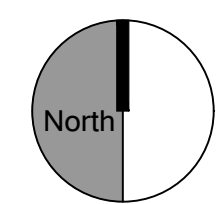
Area Schedule			
dwelling 01	4b8p	141.00m2 GIA	166.00m2 GEA
	garage*	12.55m2 GIA	15.00m2 GEA
dwelling 02	4b8p	158.00m2 GIA	186.00m2 GEA

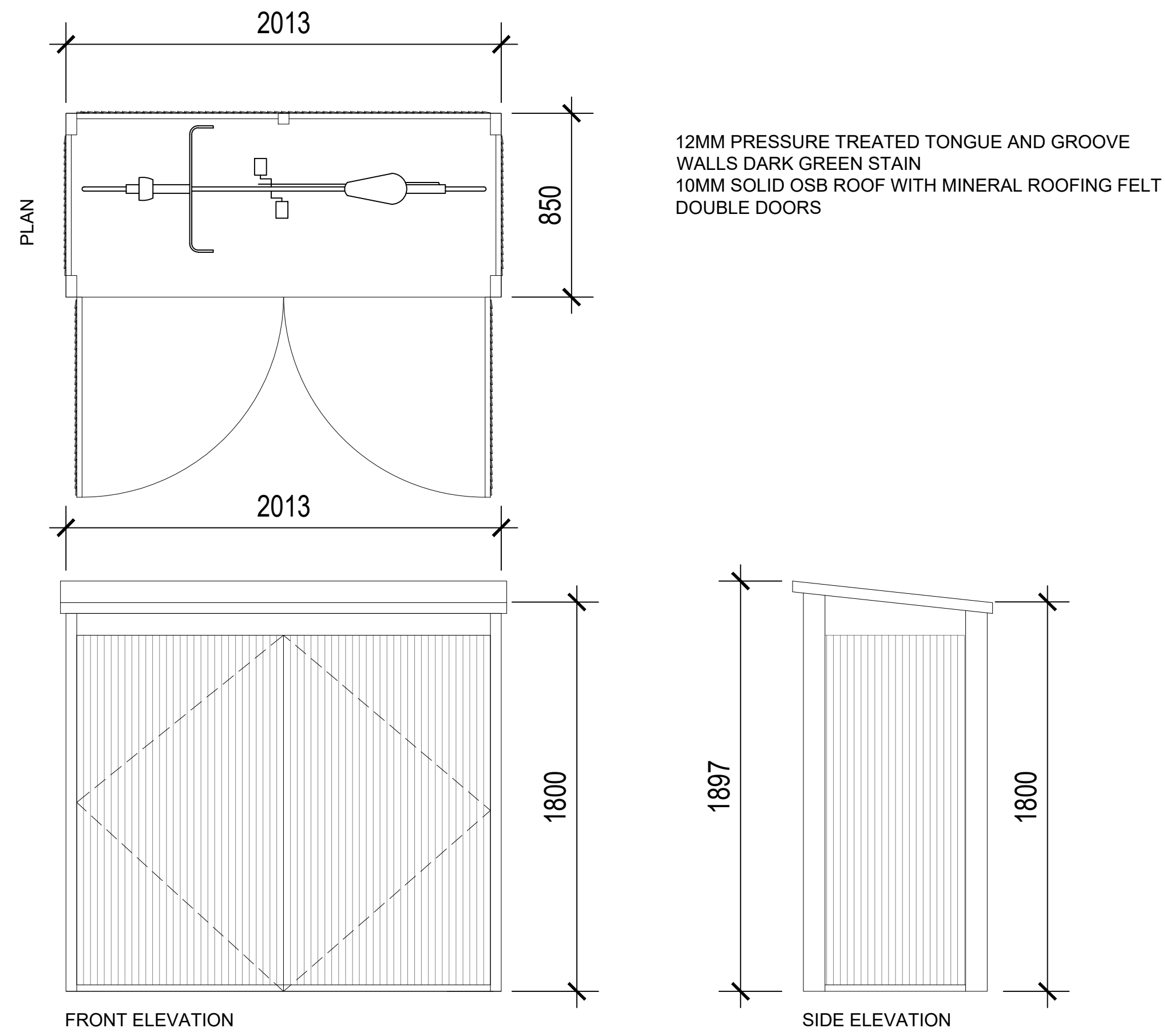
Key

- Bin storage
- Bike storage
- Indicative existing tree
- Indicative new hedges
- New timber fence
- Electric car charger point

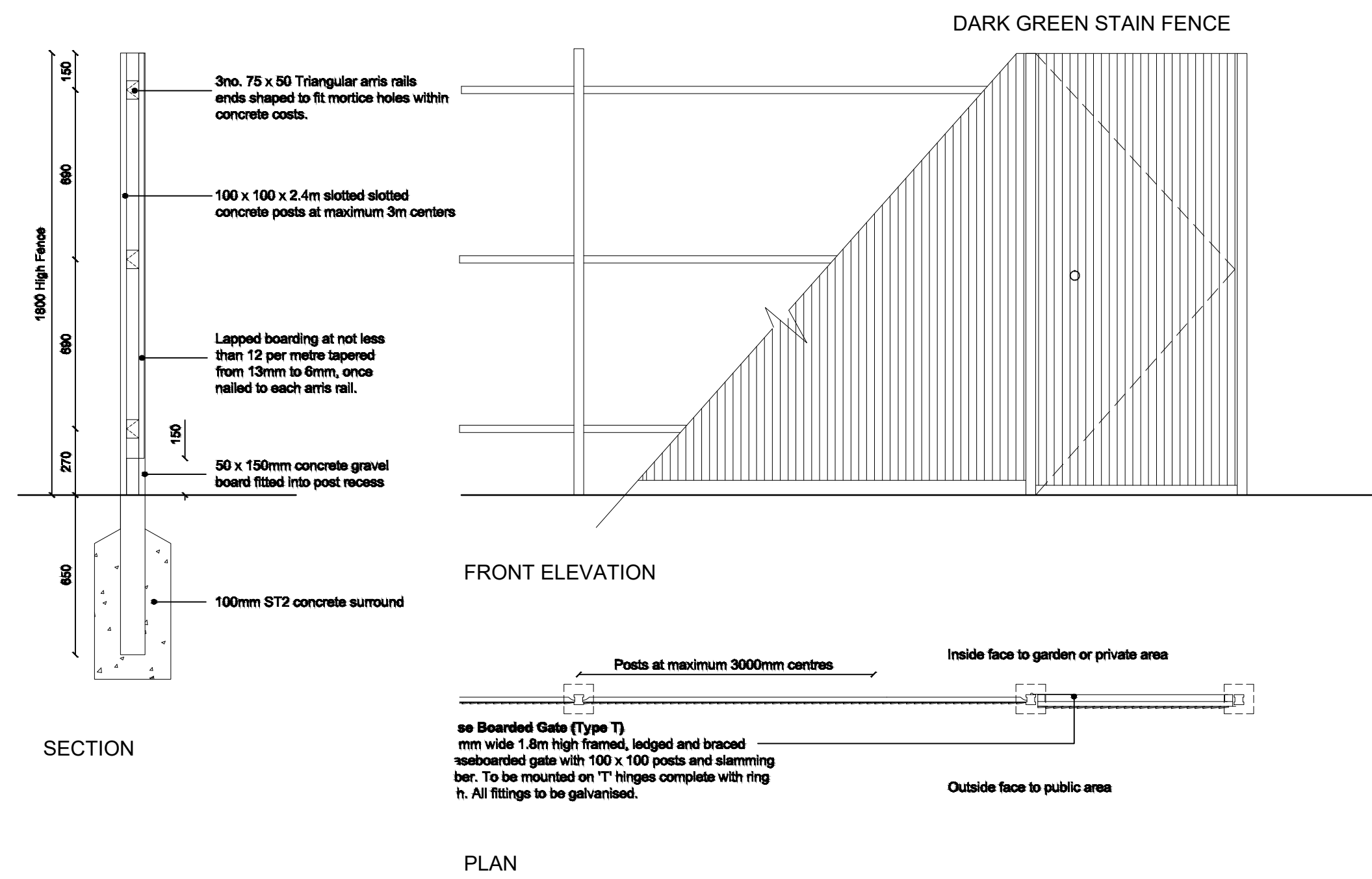
Block Plan 1:250

--- End of Town - Boundary line



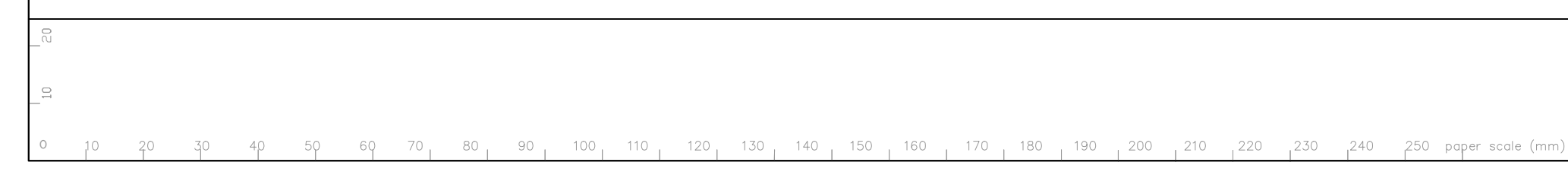


Bike Storage Details 1:20

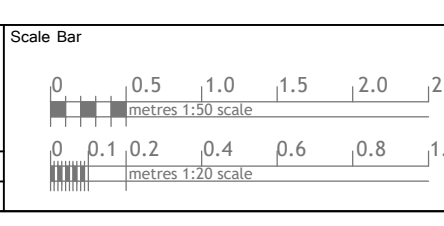


Fence Details 1:20

250
240
230
220
210
200
190
180
170
160
150
140
130
120
110
100
90
80
70
60
50
40
30
20
10
0



Rev	Date	Comments
A	01.02.2023	Car port omitted



 Architectural Design & Development Consultants	Project Bell Lane Bedmond, Abbots Langley WD5 0GS	Drawing Title Proposed Car Porch, Fence & Bike Storage
	Date September 2022	Job Ref 22071
Scale 1:200 @ A1	Dig No. PL 04	Rev A