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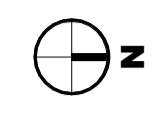
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| Hazard Identification | | |
|-----------------------|--------|------|
| ref | hazard | date |
| | | |

| | | | | |
|----|---|----|----------|---------|
| P5 | Red line boundary amended. | PC | 25.09.19 | JP |
| P4 | Information updates in line with comments received. | PC | 14.06.19 | DC / NR |
| P3 | Issued for PLANNING. | PC | 12.06.19 | DC / NR |
| P2 | Updated as requested by the client. | PC | 07.06.19 | |
| P1 | First Issue. | PC | 07.06.19 | DC |

| Rev | Revision Details | Drawn | Date | Checked |
|-----|------------------|-------|------|---------|
| | | | | |

C4 Projects
 Quayside, Widenspool Business Park, Stockton Heath, Warrington, Cheshire, WA4 6HL
 t: 01925 751 852
 e: info@c4projects.co.uk
 www.c4projects.co.uk

Project Management • Architecture • Building Surveying • Cost Consultancy

Client
 BCL (Maple Cross) LLP

Project
 Land at Maple Lodge Close, Maple Cross, Rickmansworth

Drawing Title
 Site Location Plan

Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

| | | | |
|------------|-------|---------|-------------|
| Drawn by | PC | Created | 07.06.2019 |
| C4 Job no. | 17019 | Scale | 1:1250 @ A1 |

| Dwg no. | Rev |
|---------------------------|-----|
| 17019-C4P-AV-00-DR-A-0100 | P5 |

0m 10m 20m 30m 40m
 VISUAL SCALE 1:500 @ A0

Drawing Status
PLANNING

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| Hazard Identification | |
|-----------------------|------|
| ref | date |
| | |



| | | | | |
|----|--|----|----------|-------|
| P4 | Red line boundary amended | PC | 25.08.19 | JP |
| P3 | Minor updates in line with comments received | PC | 14.08.19 | DC/NR |
| P2 | Issued for PLANNING | PC | 12.08.19 | DC/NR |
| P1 | First Issue | PC | 07.08.19 | DC |

C4 Projects
 Quayside, 20 Riverside Business Park, Stockton-on-Tees, Middlesbrough, Cleveland, TS11 1JH
 T: 01642 753 800
 E: info@c4projects.co.uk
 W: www.c4projects.co.uk

Project Management • Architecture • Building Supervision • Cost Consultancy

Client:
 BCL (Maple Cross) LLP

Project:
 Land at Maple Lodge Close, Maple Cross, Rickmansworth

Drawing Title:
 Site Plan as Existing

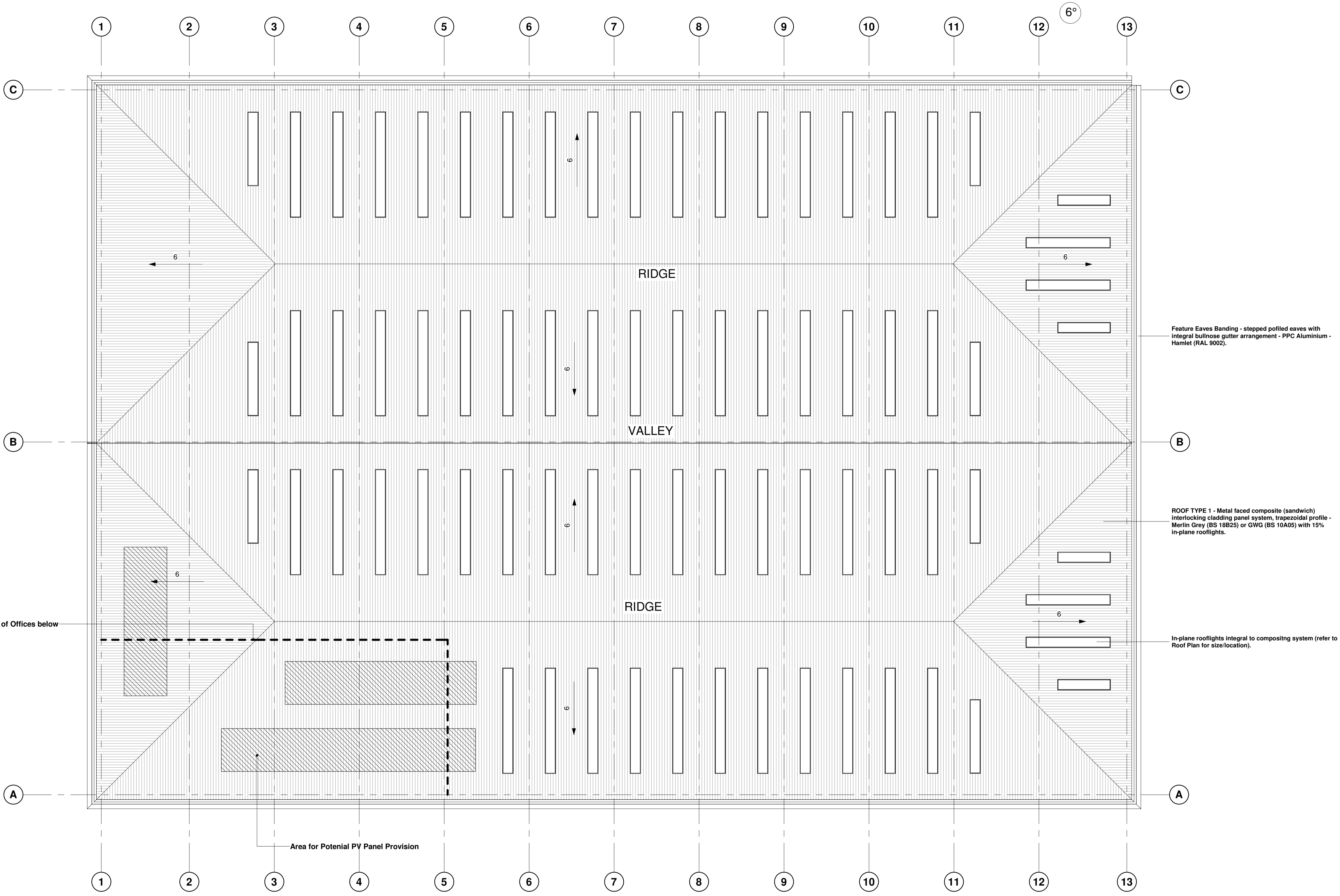
Status: Purpose of Issue
S2 SUITABLE FOR INFORMATION

| | | | |
|------------|-------|---------|------------|
| Drawn by | PC | Created | 07.06.2019 |
| C4 Job no. | 17019 | Scale | 1:500 @ A0 |

17019-C4P-AV-00-DR-A-0101 P4

1_01_00 Site Plan as Existing
 Scale: 1:500

| Hazard Identification | | |
|-----------------------|--------|------|
| ref | hazard | date |
| | | |



Feature Eaves Banding - stepped puffed eaves with integral bullnose gutter arrangement - PPC Aluminium - Hamlet (RAL 9002).

ROOF TYPE 1 - Metal faced composite (sandwich) interlocking cladding panel system, trapezoidal profile - Merlin Grey (BS 18B25) or GWG (BS 10A05) with 15% in-plane rooflights.

In-plane rooflights integral to compositing system (refer to Roof Plan for size/location).

Outline of Offices below

Area for Potential PV Panel Provision

| | | | | |
|----|---|----|----------|---------|
| P4 | Planning Re-submission | BC | 22.12.20 | GE |
| P3 | Annex omitted & Hunch height reduced, roof updated to suit | AB | 19.09.19 | DC |
| P2 | Information updates in line with comments received. | PC | 14.06.19 | DC / NR |
| P1 | Issued for PLANNING. Drawing replaces drawing no. 17019-C4P-V1-RP-DR-A-2001-P1 for Planning submission purpose. | PC | 12.06.19 | DC / NR |

| Rev | Revision Details | Drawn | Date | Checked |
|-----|------------------|-------|------|---------|
| | | | | |

C4 Projects

Quayside, Widespool Business Park, Stockton Heath, WAA GHL
 t: 01525 751 852
 e: info@c4projects.co.uk
 www.c4projects.co.uk

Project Management • Architecture • Building Surveying • Cost Consultancy

Client
 BCL (Maple Cross) LLP

Project
 Land at Maple Lodge Close, Maple Cross, Rickmansworth

Drawing Title
 Unit 2 - Proposed Roof Plan

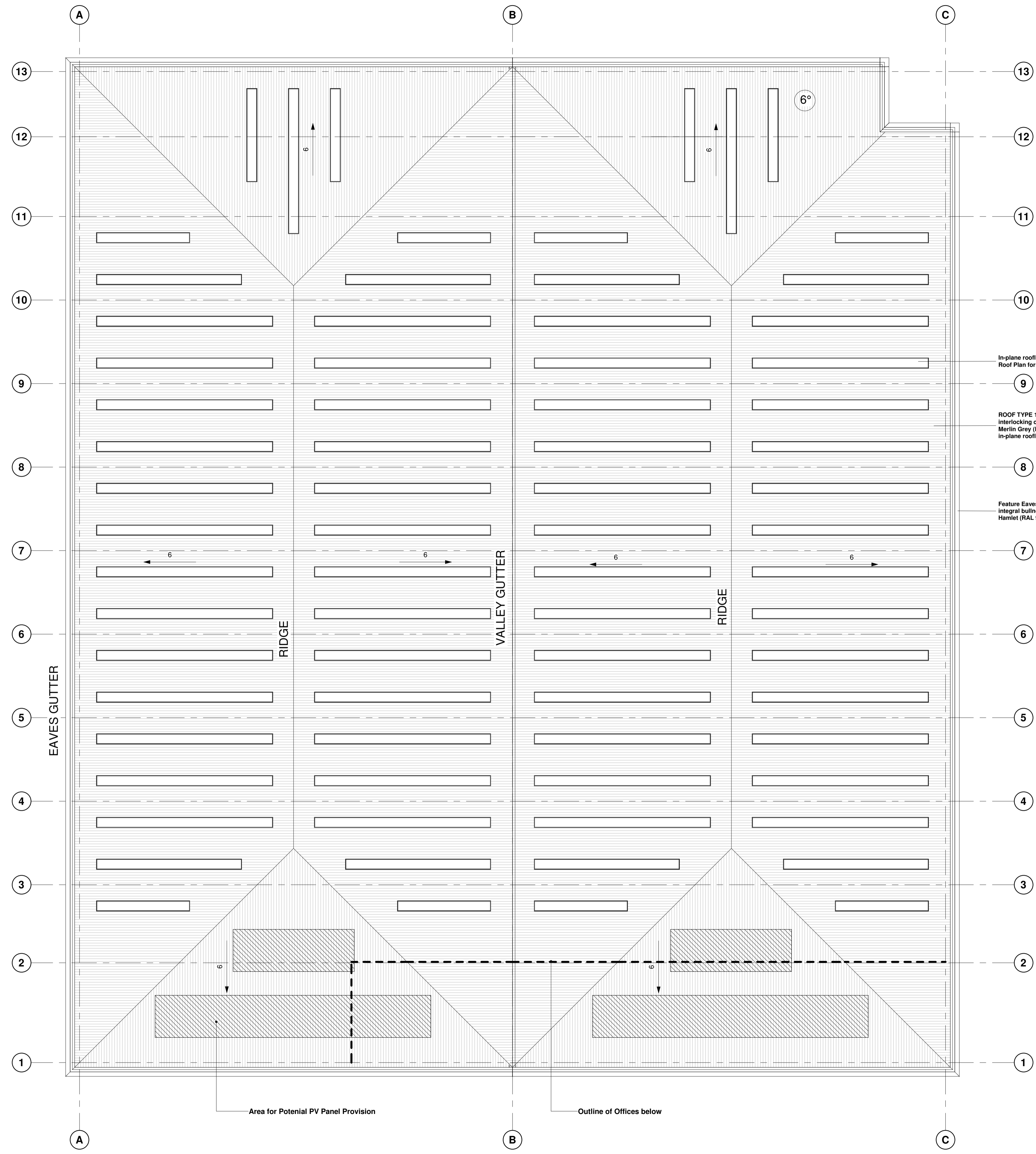
Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by PC Created 07.06.2019
 C4 Job no. 17019 Scale 1:200 @ A1

| Dwg no. | Rev |
|--------------------------|-----|
| 17019-C4P-B2-R-DR-A-2001 | P4 |

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| Hazard Identification | | |
|-----------------------|--------|------|
| ref | hazard | date |
| | | |



In-plane rooflights integral to compositing system (refer to Roof Plan for size/location).

ROOF TYPE 1 - Metal faced composite (sandwich) interlocking cladding panel system, trapezoidal profile - Merlin Grey (BS 18B25) or GWG (BS 10A05) with 15% in-plane rooflights.

Feature Eaves Banding - stepped profiled eaves with integral bullnose gutter arrangement - PPC Aluminium - Hamlet (RAL 9002).

| | | |
|--|-------------|---------|
| P4 Planning Re-submission | BC 22.12.20 | GE |
| P3 Information updates in line with comments received. | PC 14.06.19 | DC / NR |
| P2 Issued for PLANNING. | PC 12.06.19 | DC / NR |
| P1 Finalised and issued for Comments. | PC 07.06.19 | DC |

| Rev | Revision Details | Drawn | Date | Checked |
|-----|------------------|-------|------|---------|
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C4 Projects
 Quayside, Widespool Business Park, Stockton Heath, Warrington, Cheshire, WA4 6HL
 t: 01925 751 852
 e: info@c4projects.co.uk
 www.c4projects.co.uk

Project Management • Architecture • Building Surveying • Cost Consultancy

Client
 BCL (Maple Cross) LLP

Project
 MX Park
 Maple Cross, Rickmansworth

Drawing Title
 Unit 1 - Proposed Roof Plan

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

| | | | |
|------------|-------|---------|------------|
| Drawn by | BC | Created | 07.06.2019 |
| C4 Job no. | 17019 | Scale | 1:200 @ A1 |

| | | | |
|---------|--------------------------|-----|----|
| Dwg no. | 17019-C4P-B1-R-DR-A-2001 | Rev | P4 |
|---------|--------------------------|-----|----|

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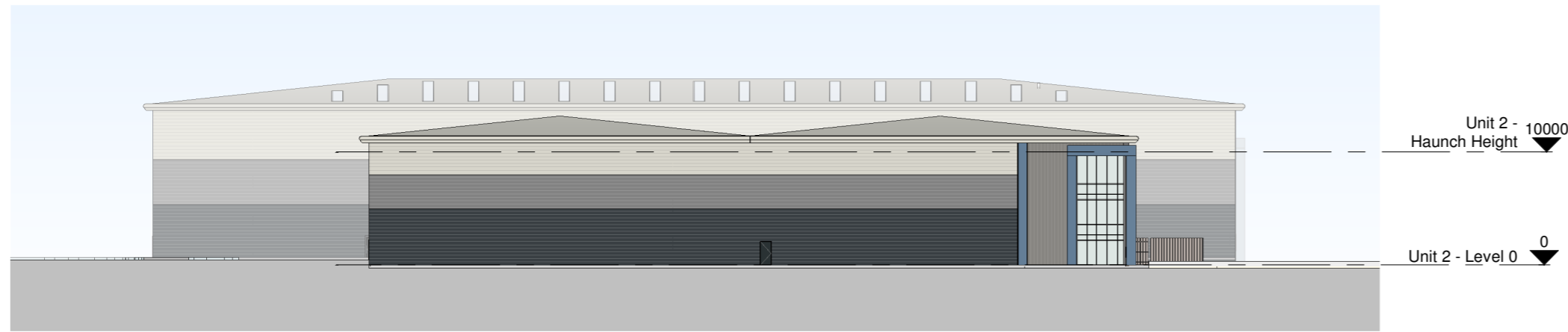
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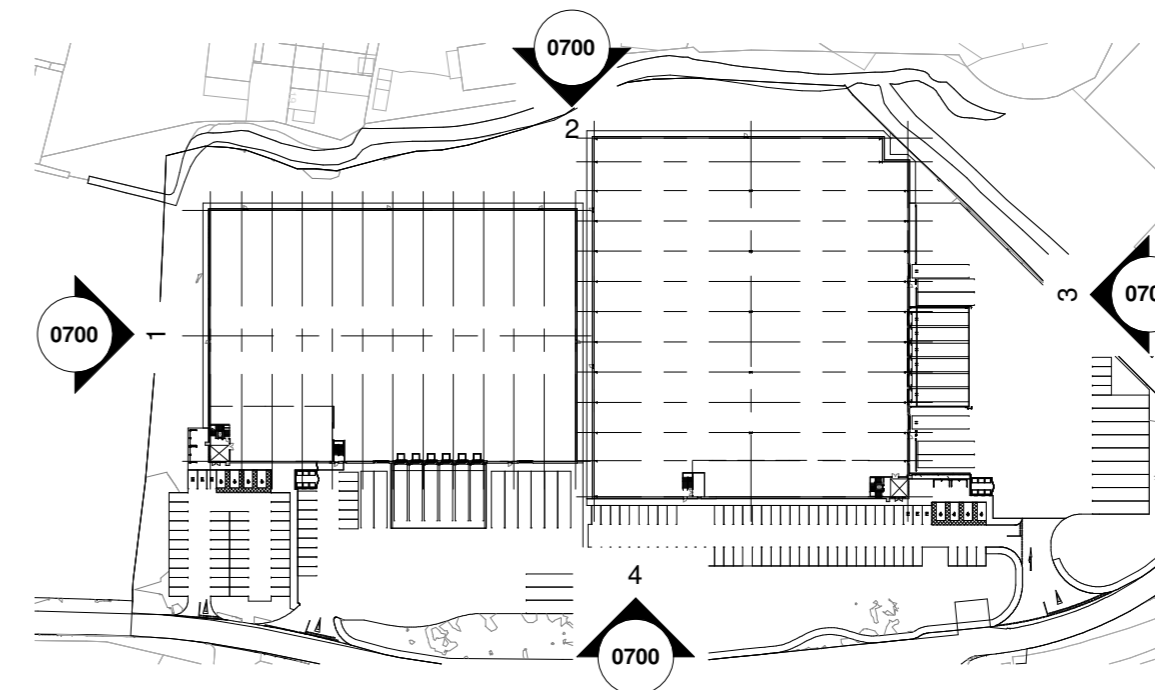
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| ref | hazard | date |
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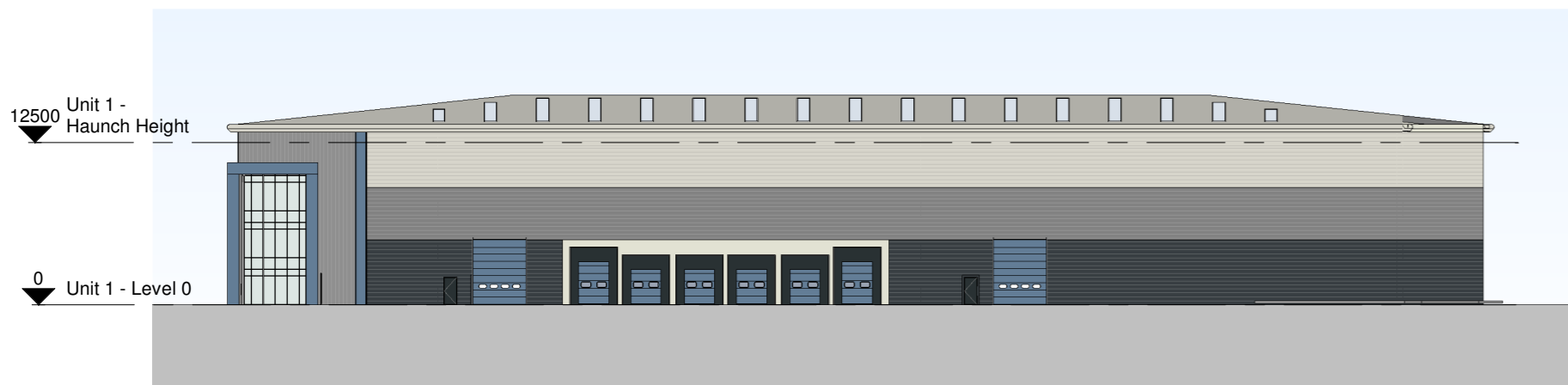
1 South Elevation as Proposed
1 : 500



5 05-ZZ_Site Plan as Proposed
1 : 2000



2 West Elevation as Proposed
1 : 500



3 North Elevation as Proposed
1 : 500



4 East Elevation as Proposed
1 : 500

| P4 | Planning Re-submission | BC | 22.12.20 | GE |
|-----|---|-------|----------|---------|
| P3 | Unit 2 updated, annex removed and haunch height reduced | VV | 19.09.19 | DC |
| P2 | Information updates in line with comments received | PC | 14.06.19 | DC/NR |
| P1 | Issued for PLANNING | PC | 12.06.19 | DC/NR |
| Rev | Revision Details | Drawn | Date | Checked |

C4 Projects
Quayside,
Wilderspool Business Park,
Stockton Heath,
WA4 6HL
t: 01925 751 852
e: info@c4projects.co.uk
www.c4projects.co.uk

Project Management • Architecture • Building Surveying • Cost Consultancy

Client
BCL (Maple Cross) LLP

Project
Land at Maple Lodge Close,
Maple Cross, Rickmansworth

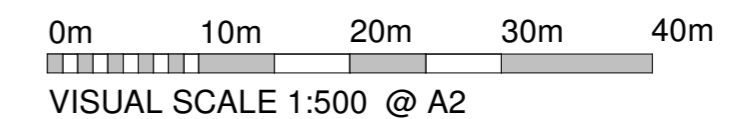
Drawing Title
Site Elevations as Proposed

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by PC Created 13.06.2019

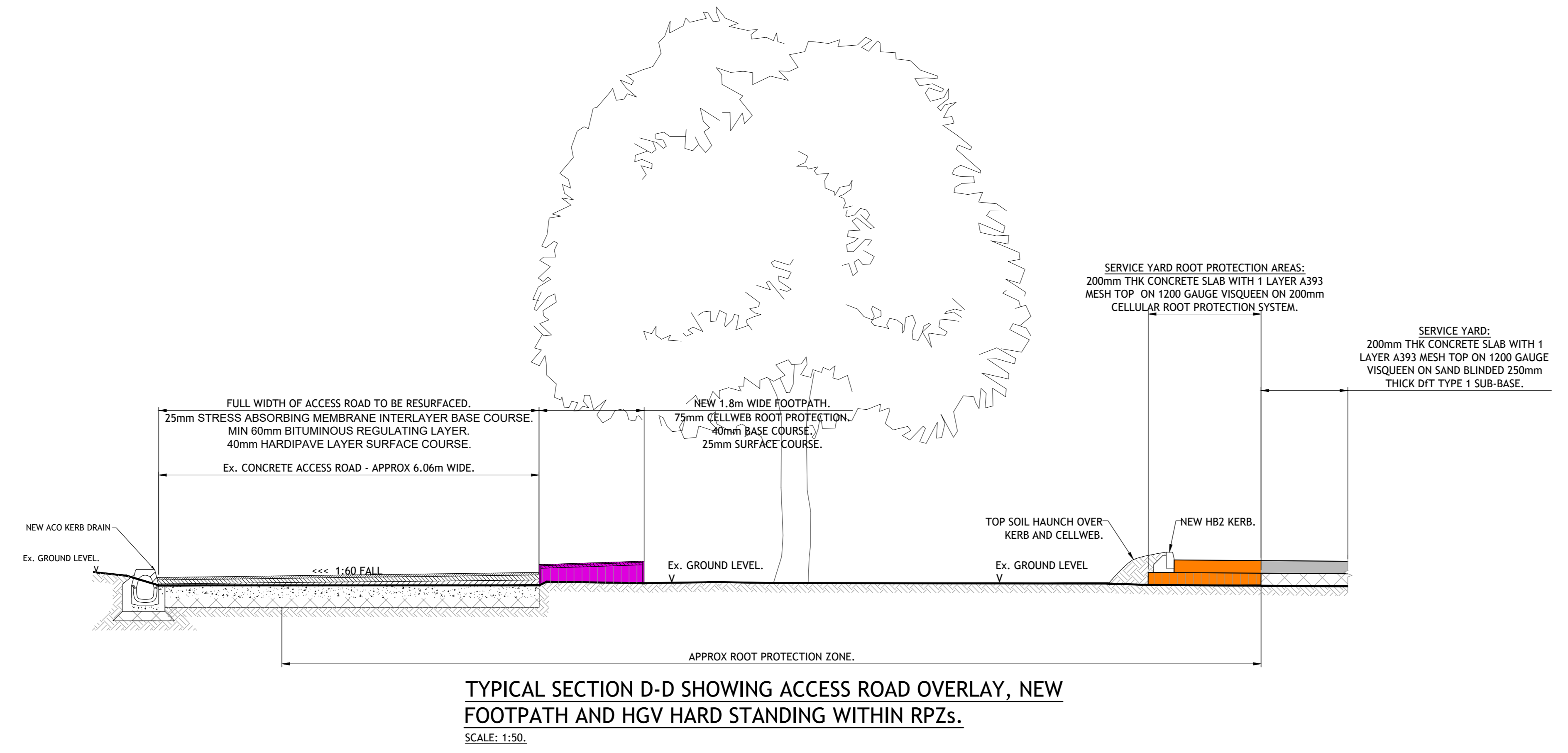
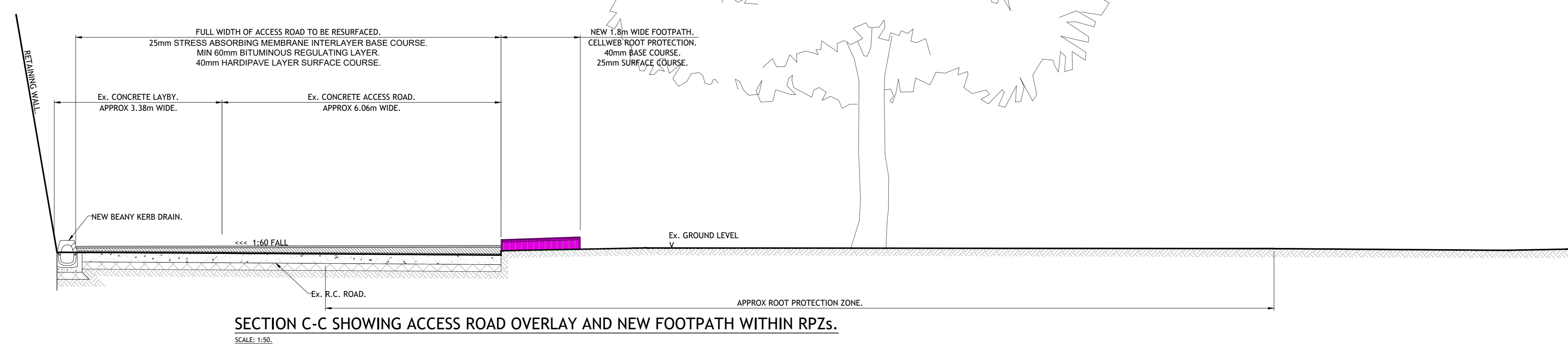
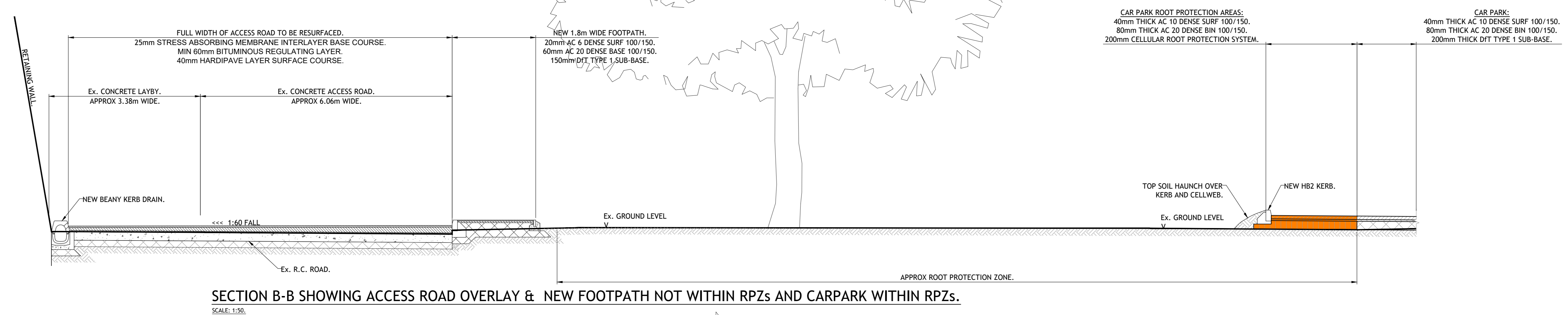
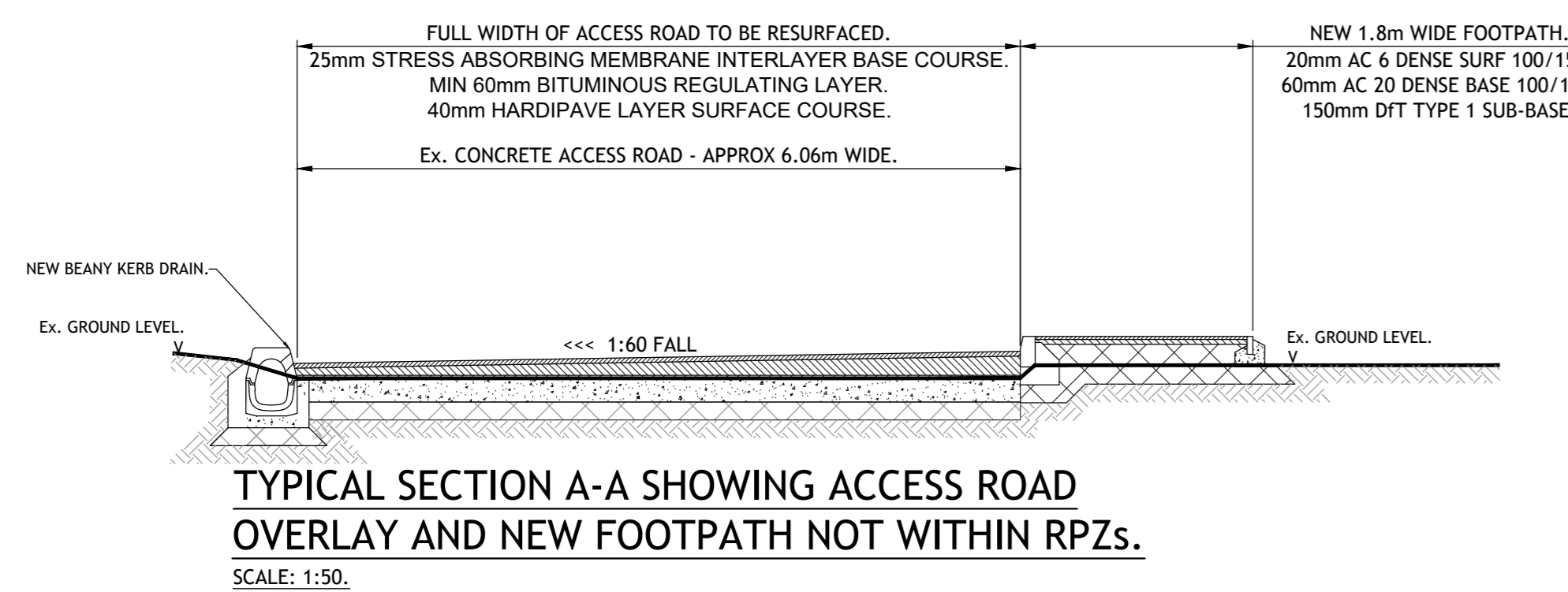
C4 Job no. 17019 Scale As indicated @ A2

Drg no. 17019-C4P-AV-ZZ-DR-A-0700 Rev P4



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| REV | DATE | BY | DESCRIPTION | CHK | APP |
|-----|------------|----|---|-----|-----|
| P6 | 15.01.2021 | CF | UPDATED TO SUIT REVISED SITE PLAN. | JH | PJB |
| P5 | 07.02.2020 | CF | UPDATED WITH ROOT PROTECTION HATCH | SCJ | PJB |
| PA | 31.01.2020 | CF | ELECTIONS UPDATED TO SUIT NEW ROAD LAYOUT | SCJ | PJB |
| P3 | 21.01.2020 | CF | ROAD FALLS AND DRAINAGE UPDATED | SCJ | PJB |
| P2 | 19.12.2019 | CF | ISSUED FOR COMMENT | SCJ | PJB |
| P1 | 18.12.2019 | CF | ISSUED FOR COMMENT | SCJ | PJB |

DRAWING STATUS: PRELIMINARY

Tier Consult
 Tier Consult Ltd,
 Richmond House,
 Sandpiper Court,
 Chester Business Park,
 Chester,
 CH4 9JF
 Telephone: 01244 689900
 Fax: 01244 689901
 Email: info@tierconsult.com

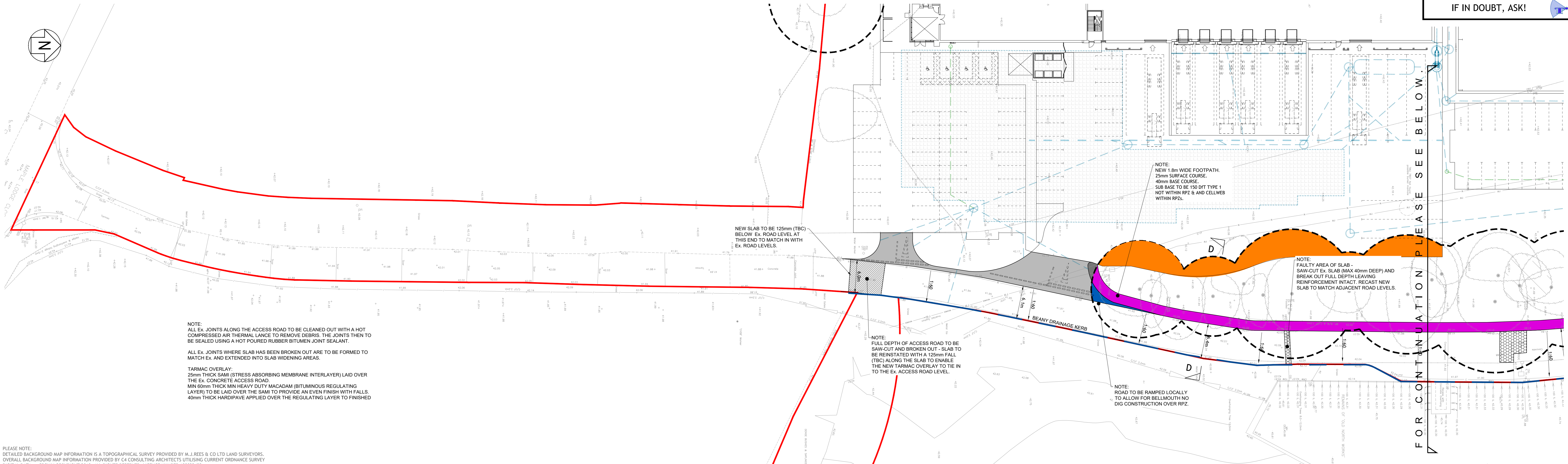
CLIENT: BCL (Maple Cross) LLP

ARCHITECT: C4 Consulting

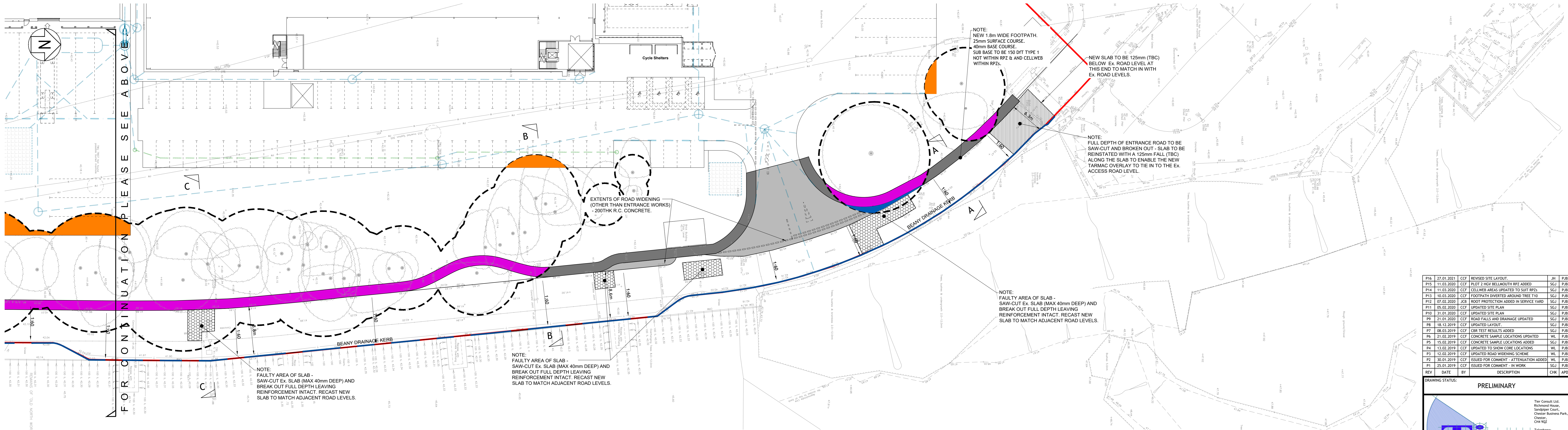
PROJECT: MAPLE CROSS, RICKMANSWORTH.

TITLE: SECTIONS SHOWING PROPOSED WIDENING TO Ex. ACCESS ROAD.

| | |
|------------------------|-----------------------|
| START DATE: 22.01.2019 | DRAWN BY: C.C. FITTON |
| SHEET SIZE: A0 | CHECKED: SCJ |
| SCALE: 1:50 | APPROVED: PJB |
| PROJECT No: T_17_1999 | DRAWING No: 65-04 |
| | REV: P6 |



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NOTE:
FAULTY AREA OF SLAB - SAW-CUT Ex. SLAB (MAX 40mm DEEP) AND BREAK OUT FULL DEPTH LEAVING REINFORCEMENT INTACT. RECAST NEW SLAB TO MATCH ADJACENT ROAD LEVELS.

NOTE:
FAULTY AREA OF SLAB - SAW-CUT Ex. SLAB (MAX 40mm DEEP) AND BREAK OUT FULL DEPTH LEAVING REINFORCEMENT INTACT. RECAST NEW SLAB TO MATCH ADJACENT ROAD LEVELS.

NOTE:
FAULTY AREA OF SLAB - SAW-CUT Ex. SLAB (MAX 40mm DEEP) AND BREAK OUT FULL DEPTH LEAVING REINFORCEMENT INTACT. RECAST NEW SLAB TO MATCH ADJACENT ROAD LEVELS.

LEGEND

- NEW FOOTPATH - NOT WITH ROOT PROTECTION ZONES.
25mm SURFACE COURSE.
40mm BASE COURSE.
150 DIT TYPE 1 SUBBASE.
- NEW FOOTPATH - WITHIN ROOT PROTECTION ZONES.
25mm SURFACE COURSE.
40mm BASE COURSE.
MIN 75mm CELLWEB ROOT PROTECTION SYSTEM.
- NEW SERVICE YARD OR CARPARK - WITHIN ROOT PROTECTION ZONES.
REFER TO DRAWING T_17_1999-40-02 - PROPOSED EXTERNAL WORKS LAYOUT
- NEW BELLMOUTH - WITHIN ROOT PROTECTION ZONES.
REFER TO DRAWING T_17_1999-40-02 - PROPOSED EXTERNAL WORKS LAYOUT

NOTE:
CELLULAR ROOT PROTECTION SYSTEM CONSISTS OF:
• CELLULAR ROOT PROTECTOR TO BE FILLED WITH CLEAN ANGULAR STONE TYPE 4/20mm AND OVERFILLED TO MINIMUM 25mm DEEP.
• 75mm / 150mm DEEP CELLULAR ROOT PROTECTOR.
• 1 LAYER POLLUTION CONTROL GEOTEXTILE MEMBRANE IN VEHICLE ACCESS AREAS.
• 1 LAYER WEED SUPPRESSANT GEOTEXTILE MEMBRANE IN FOOTPATH AREAS.

NOTE:
DRAWING TO BE READ IN CONJUNCTION WITH TIER CONSULT REPORT No. T_17_1999-ACCESS ROAD UPGRADING AND REPAIR WORKS REPORT, DATED: 30.01.2019

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| REV | DATE | BY | DESCRIPTION | CHK | APP |
|-----|------------|-----|--|-----|-----|
| P15 | 27.01.2024 | CCF | REVISED SITE LAYOUT. | JH | PJB |
| P15 | 11.03.2020 | CCF | PLOT 2 HIGH BELLMOUTH RPZ ADDED | SGJ | PJB |
| P14 | 11.03.2020 | CCF | CELLWEB AREAS UPDATED TO SUIT RPZS | SGJ | PJB |
| P13 | 03.03.2020 | CCF | FOOTPATH OVERLAP ADJACENT TREE 110 | SGJ | PJB |
| P12 | 07.02.2020 | XJB | ROOT PROTECTION ADDED IN SERVICE YARD | SGJ | PJB |
| P11 | 05.02.2020 | CCF | UPDATED SITE PLAN | SGJ | PJB |
| P10 | 21.01.2020 | CCF | ROAD FALLS AND DRAINAGE UPDATED | SGJ | PJB |
| P9 | 18.12.2019 | CCF | UPDATED LAYOUT. | SGJ | PJB |
| P7 | 08.03.2019 | CCF | SOIL TEST RESULTS ADDED | SGJ | PJB |
| P6 | 21.02.2019 | CCF | CONCRETE SAMPLE LOCATIONS UPDATED | WL | PJB |
| P5 | 15.02.2019 | CCF | CONCRETE SAMPLE LOCATIONS ADDED | SGJ | PJB |
| P4 | 13.02.2019 | CCF | UPDATED TO SHOW CORE LOCATIONS | WL | PJB |
| P3 | 12.02.2019 | CCF | UPDATED ROAD WIDENING SCHEME | WL | PJB |
| P2 | 30.01.2019 | CCF | ISSUED FOR COMMENT - ATTENUATION ADDED | WL | PJB |
| P1 | 25.01.2019 | CCF | ISSUED FOR COMMENT - IN WORK | SGJ | PJB |
| REV | DATE | BY | DESCRIPTION | CHK | APP |

DRAWING STATUS: PRELIMINARY

Tier Consult
Tier Consult Ltd,
Richmond House,
Sandpaper Court,
Chester Business Park,
CH4 9JZ

CLIENT: BCL (Maple Cross) LLP

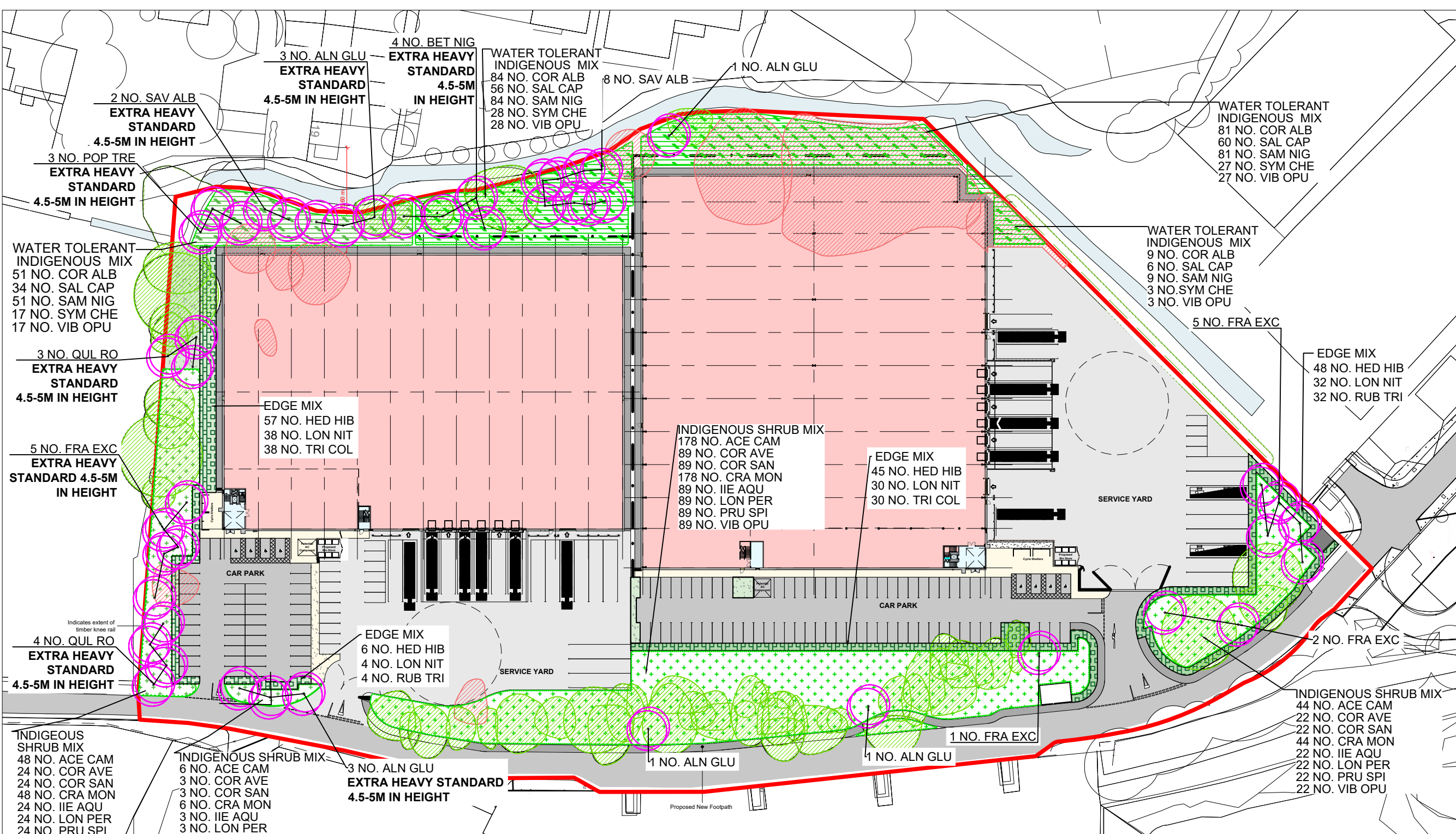
ARCHITECT: C4 Consulting

PROJECT: MAPLE CROSS, RICKMANSWORTH.

TITLE: PLAN SHOWING Ex. ACCESS ROAD WIDENING, REPAIRS.

START DATE: 22.01.2019
DRAWN BY: C.C.FITTON
SHEET SIZE: A0
CHECKED: SGJ
SCALE: 1:250
APPROVED: PJB

PROJECT No: T_17_1999
DRAWING No: 65-03
REV: P16



LEGEND:

- EXISTING TREES**
To be retained.
- EXISTING TREES**
To be removed.
- PROPOSED TREES**
- PROPOSED TARMAC**
- PROPOSED GRAVEL STRIP**
- PROPOSED WATER TOLERANT INDIGENOUS MIX**
- PROPOSED INDIGENOUS MIX**
- PROPOSED EDGE MIX**
- PROPOSED GRASSLAND**
- SITE BOUNDARY**

OUTLINE SPECIFICATION
Existing trees and shrubs to be retained shall be protected in accordance with the current British Standard 'Trees in relation to construction'. Generally fencing shall be a 1.2m high cleft chestnut or 1.8m 'Herres' type fencing secured and maintained in position for the duration of construction.

GENERAL
All planting work & plants shall be in accordance with all approved current/relevant horticultural & British Standard specifications including 'Nursery stock', 'Landscape Operations', 'Trees in relation to Design, Demolition & Construction', 'Tree Work' and the latest National Building Specification, National Plant Specification & HTA 'Handling & Establishing Landscape Plants'. Herbicides, pesticides and other chemicals may only be used with the approval of the CA Use of chemicals shall be in accordance with all relevant guidelines and the manufacturers recommendations. Imported topsoil shall be a minimum specification of general-purpose grade, unless otherwise instructed. 1 cu.m approved compost/organic material per 20 sq m shall be cultivated into topsoil before planting. Peat shall not be used. Following planting all shrub beds shall be treated with approved granular fertilizer at rates recommended by the manufacturer. All ornamental planting beds shall be mulched with 50mm depth medium grade ornamental bark mulch. All hedge and native planting shall be mulched with 75mm depth mushroom compost.

TOPSOIL
Imported topsoil shall be a minimum specification to current British Standard Multi-purpose grade from an approved source in accordance to the above specification, unless otherwise instructed. 1 cu.m approved compost/organic material/soil ameliorant per 20 sq m shall be cultivated into topsoil before planting. Peat shall not be used.

MAINTENANCE
The defects liability period for planting shall be 12 months from completion of the works, to the current British Standard. During this period, any plant which is found to be dead, dying or otherwise defective shall be replaced at the expense of the contractor during the next planting season. The contractor shall make maintenance visits as required to ensure the successful establishment of the planting and maintain all shrub areas in a weed free condition. Regular visits (minimum 8 No.) required, to maintain all planted areas in a weed and litter free condition using a combination of chemical spray and hand weeding to be agreed with the CA. Maintenance to include watering, pruning, pest and disease control and re-mulching as required to current British Standard. Final visit to be immediately prior to handing over and to include a fertilizer treatment of Enmag (6:20:10) at 100g/m² and 25mm depth bark mulch top up to all ornamental planted area. Amenity grass mowing at two-week intervals during growing season, meadow grass maintained in accordance with seed supplier's recommendation. Maintenance to be carried out in years 2-5 to be agreed.

PLANT SCHEDULE
Trees - Trees planted into tree pits 75mm deeper than the root system and wide enough to accommodate roots when fully spread. Root balled trees to be dug 500mm wider and same depth as the rootball. If the site is on an uncultivated site or where clay soils could get waterlogged the tree pits should be 2-3 times the size of the rootball. Hedges - Planted into 450mm depth topsoil. Specimen Shrubs - Planted into 450mm depth topsoil. Ornamental Shrubs and Groundcovers - Planted into 450mm depth topsoil. Climbers - Planted into 450mm depth topsoil as indicated. Support to be provided as required. Grass area - 100mm depth topsoil

TREE PLANTING
All trees are to be planted as shown ensuring a minimum of 5 metres from buildings and 3 metres from drainage. Tree pits to have suitable topsoil to the current British Standard to a suitable depth, with irrigation, drainage, root protection,

aeration, root cells as required to suit ground conditions, as approved by CA.

PLANT MATERIAL TREATMENT
All to be British grown stock and fully hardened off. Root Dip - Proprietary Root Dip applied to all bare rooted stock (1) at time of lifting at nursery and (2) prior to planting. Anti-Desiccant - Proprietary anti-desiccant to be applied to foliage of all containerized root balled material in leaf, specimen conifers and evergreen etc., (1) prior to transportation and (2) during any delay in planting. Pruning - Allow for pruning of all deciduous trees and shrubs by 113rd following planting at Landscape Architects instruction or as indicated in the planting schedule. Tree stakes and ties - Stakes to be pressure treated, round, smooth and peeled larch or chestnut, not less than 100mm in diameter. Advanced nursery stock - double staked with cross bar.

Planting Schedule

| Trees | Abbreviation | Species | Number | Girth/Height | Density |
|---------|--------------------|---------|---------|--------------|---------|
| ALN GLU | Alnus Glutinosa | 3 | 10-12cm | AS DWG | |
| FRA EXC | Fraxinus Exceuson | 8 | 10-12cm | AS DWG | |
| SAV ALB | Savix Alba Tristis | 8 | 10-12cm | AS DWG | |

| Trees | Abbreviation | Species | Number | Girth/Height | Density |
|---------|--------------------|---------|---------|--------------|---------|
| ALN GLU | Alnus Glutinosa | 6 | 18-20cm | AS DWG | |
| BET NIG | Betula Nigra | 4 | 18-20cm | AS DWG | |
| FRA EXC | Fraxinus Exceuson | 5 | 18-20cm | AS DWG | |
| POP TRE | Populus Tremula | 3 | 18-20cm | AS DWG | |
| QUL RO | Qulrus Rodur | 7 | 18-20cm | AS DWG | |
| SAV ALB | Savix Alba Tristis | 2 | 18-20cm | AS DWG | |

Indigenous Shrub Mix - 4,141m²

| Abbreviation | Species | Number | Girth/Height | Density |
|--------------|-----------------------------|--------|--------------|------------------|
| ACE CAM | Acer Campestre (20%) | 276 | BR | 3/m ² |
| COR AVE | Corylus Avellana (10%) | 138 | BR | 3/m ² |
| COR SAN | Cornus Sanguinea (10%) | 138 | BR | 3/m ² |
| CRA MON | Crataegus Monogyna (20%) | 276 | BR | 3/m ² |
| IIE AQU | Illex Aquifolium (10%) | 138 | BR | 3/m ² |
| LON PER | Lonicera Periclymenum (10%) | 138 | BR | 3/m ² |
| PRU SPI | Prunus Spinosa (10%) | 138 | BR | 3/m ² |
| VIB OPU | Viburnum Opulus (10%) | 138 | BR | 3/m ² |

Water Tolerant Indigenous Mix - 2,278m²

| Abbreviation | Species | Number | Girth/Height | Density |
|--------------|---|--------|--------------|------------------|
| COR ALB | Cornus Alba (30%) | 225 | BR | 3/m ² |
| SAL CAP | Salix Caprea (20%) | 150 | BR | 3/m ² |
| SAM NIG | Sambucus Nigra (30%) | 225 | BR | 3/m ² |
| SYM CHE | Symphoricarpos Chenaultii 'Hancock' (10%) | 75 | BR | 3/m ² |
| VIB OPU | Viburnum Opulus (10%) | 75 | BR | 3/m ² |

Edge Mix - 935m²

| Abbreviation | Species | Number | Girth/Height | Density |
|--------------|------------------------|--------|--------------|------------------|
| HED HIB | Hedera Hibernica (40%) | 156 | BR | 3/m ² |
| LON NIT | Lonicera Nitida (30%) | 104 | BR | 3/m ² |
| RUB TRI | Rubus Tricolor (30%) | 104 | BR | 3/m ² |

REV H/ 08.02.2021/ Updated base and amended planting to fit/ AF
REV G/ 15.01.2021/ Amendments to tree removal strategy/ AF
REV F/ 13.01.2021/ Amendments to areas and quantity of plant species/ AF
REV E/28.11.2019/ ML
REV D/ 21.10.2019 / Minor Changes /ML
REV C / 06.10.2019 / Plan changes/ ML
REV B / 23.09.2019 / ML
REV A / 18.09.2019 / Tree Changes / ML
revision / date / description / draw

Gloucester House
399 Silbury Boulevard
Milton Keynes
MK9 2AH
T: 01908 303701
W: www.enplan.net



client
BCL (Maple Cross) LLP

project
Maple Cross

scale
1:1000 @ A3

date
08.02.21

title
Landscape Strategy

drawn
AF

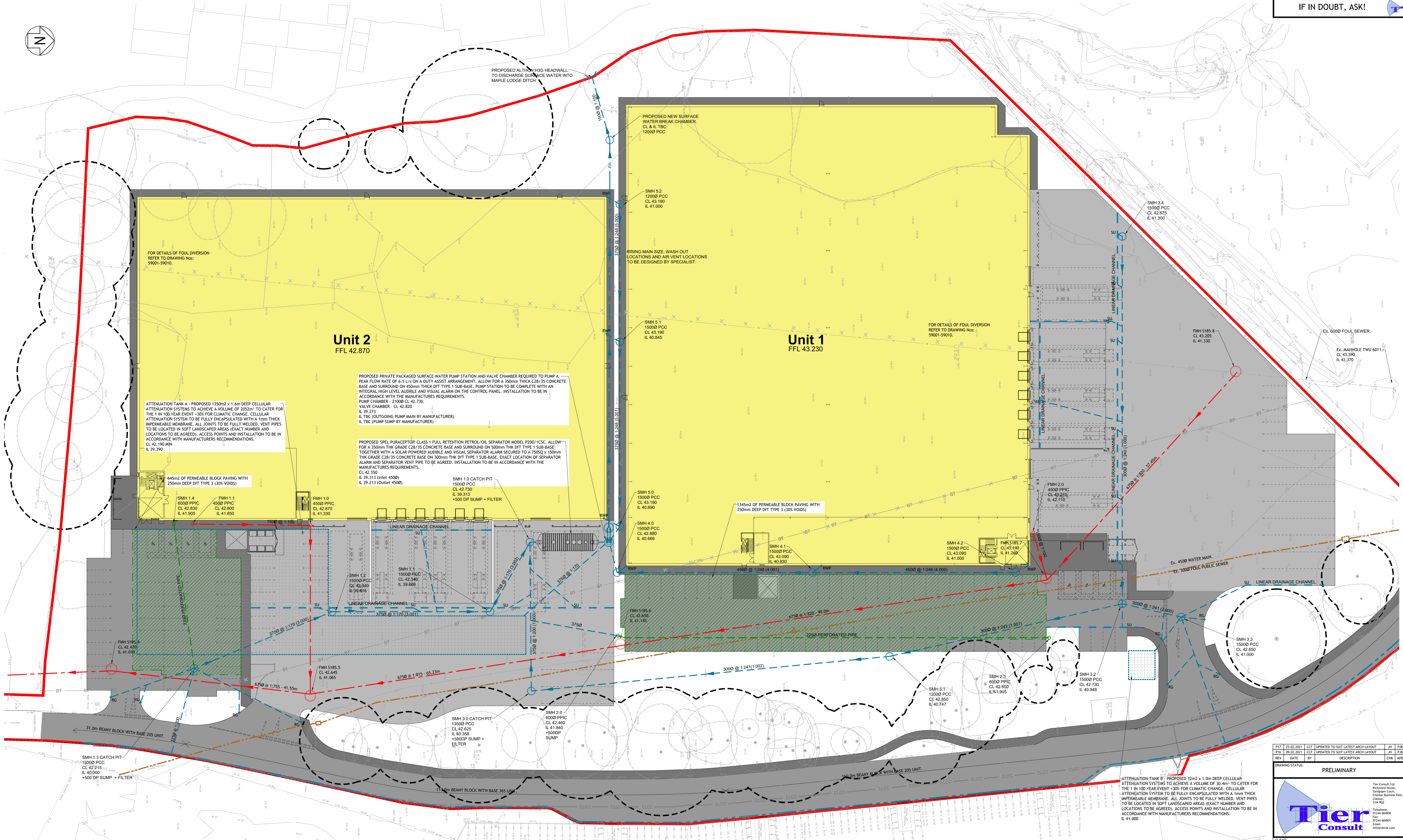
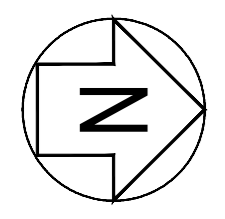
checked
RH

revision

drawing number
05-885-700

revision
H

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Unit 2
FFL 42.870

Unit 1
FFL 43.230

FOR DETAILS OF FOUL DIVERSION REFER TO DRAWING Nos: 59001-59010.

FOR DETAILS OF FOUL DIVERSION REFER TO DRAWING Nos: 59001-59010.

PROPOSED PRIVATE PACKAGED SURFACE WATER PUMP STATION AND VALVE CHAMBER REQUIRED TO PUMP A PEAK FLOW RATE OF 6.5 L/s ON A DUTY ASSIST ARRANGEMENT. ALLOW FOR A 350mm THICK C28/35 CONCRETE BASE AND SURROUND ON 450mm THICK DFT TYPE 1 SUB-BASE. PUMP STATION TO BE COMPLETE WITH AN INTEGRAL HIGH LEVEL ALARM AND VISUAL ALARM ON THE CONTROL PANEL. INSTALLATION TO BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.
PUMP CHAMBER - 21000 CL 42.730
VALVE CHAMBER - CL 42.820
IL 39.273
IL TBC (OUTGOING PUMP MAIN BY MANUFACTURER)
IL TBC (PUMP SUMP BY MANUFACTURER)

PROPOSED SPEL PURACECTOR CLASS 1 FULL RETENTION PETROL/OIL SEPARATOR MODEL P200/1CSC. ALLOW FOR A 350mm THK GRADE C28/35 CONCRETE BASE AND SURROUND ON 500mm THK DFT TYPE 1 SUB-BASE TOGETHER WITH A SOLAR POWERED AUDIBLE AND VISUAL SEPARATOR ALARM SECURED TO A 7500 x 1500mm THK GRADE C28/35 CONCRETE BASE ON 300mm THK DFT TYPE 1 SUB-BASE. EXACT LOCATION OF SEPARATOR ALARM AND SEPARATOR VENT PIPE TO BE AGREED. INSTALLATION TO BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.
CL 42.550
IL 39.313 (Inlet 4500)
IL 39.213 (Outlet 4500)

ATTENUATION TANK A - PROPOSED 1350m² x 1.6m DEEP CELLULAR ATTENUATION SYSTEMS TO ACHIEVE A VOLUME OF 2025m³ TO CATER FOR THE 1 IN 100 YEAR EVENT +30% FOR CLIMATIC CHANGE. CELLULAR ATTENUATION SYSTEM TO BE FULLY ENCAPSULATED WITH A 1mm THICK IMPERMEABLE MEMBRANE. ALL JOINTS TO BE FULLY WELDED. VENT PIPES TO BE LOCATED IN SOFT LANDSCAPED AREAS (EXACT NUMBER AND LOCATIONS TO BE AGREED). ACCESS POINTS AND INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
CL 42.190 MH
IL 39.390

645m² OF PERMEABLE BLOCK PAVING WITH 250mm DEEP DFT TYPE 3 (30% VOIDS)

1345m² OF PERMEABLE BLOCK PAVING WITH 250mm DEEP DFT TYPE 3 (30% VOIDS)

Ex. 4500 WATER MAIN
Ex. 3000 FOUL PUBLIC SEWER

Ex. 6000 FOUL SEWER
Ex. MANHOLE TWU 6011
CL 43.205
IL 41.370

GENERAL ARRANGEMENT SHOWING PROPOSED FOUL AND SURFACE WATER DRAINAGE LAYOUT.

SCALE: 1:250

NOTE:
ALL MANHOLES WITH A 500mm DEEP SUMP ARE TO BE FITTED WITH A REMOVABLE FILTER TO THE OUTFALL PIPEWORK. I.E. NAYLOR SMART FILTER.
PERMEABLE BLOCK PAVING TO BE TANKED USING 1mm THICK IMPERMEABLE MEMBRANE.

NOTES

- THIS DRAWING IS THE COPYRIGHT OF TIER CONSULT LTD AND CANNOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN CONSENT FROM THE COMPANY.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS, ENGINEERS AND SPECIALIST'S DRAWINGS TOGETHER WITH THE APPROPRIATE SPECIFICATION.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. DIMENSIONS IN THIS DRAWING MUST NOT BE SCALED AND ONLY WRITTEN DIMENSIONS USED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER IN WRITING. ALL LEVELS ARE IN METRES UNDO TO OS DATUM.
- THE WORKS SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING SPECIFICATION.
- THE LOCATION LINE & LEVEL OF ALL KNOWN EXISTING DRAINAGE PIPEWORK INDICATED ON THE DRAWINGS ARE APPROXIMATE AND FOR GUIDANCE PURPOSES ONLY.
- CONNECTION TO THE EXISTING PUBLIC SEWERS WILL BE SUBJECT TO THE RELEVANT APPROVALS FROM THE STATUTORY UNDERTAKER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXACT LINE AND LEVEL, BY WAY OF HAND EXCAVATED TRIAL PITS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS ON SITE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND MAINTAIN THE STRUCTURAL INTEGRITY OF ALL ABOVE AND BELOW GROUND SERVICE INSTALLATIONS.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THROUGHOUT THE DURATION OF THE CONTRACT A FULL TRAFFIC MANAGEMENT SYSTEM TO ENSURE SAFE PASSAGE OF VEHICLES/PEDESTRIANS IN THE VICINITY OF THE WORKS. ALL TRAFFIC SIGNS, SIGNALS, BARRIERS ETC. SHALL BE IN ACCORDANCE WITH CHAPTER 8 OF THE TRAFFIC SIGNS MANUAL.
- ALL LEVELS ARE IN METRES UNDO TO OS DATUM.
- WHERE PROPOSED DRAINAGE PIPEWORK RUNS ARE IN CLOSE PROXIMITY TO THE NEW FOUNDATIONS, THE CONTRACTOR SHALL ALLOW FOR EXTENDING THE DEPTH OF NEW FOUNDATIONS IN LEAN MIX CONCRETE DOWN TO THE PROPOSED PIPE BEDDING LEVEL.
- ALL SOFT / HARD PAVED AREAS AFFECTED BY THE WORKS SHALL BE FULLY REINSTATEMENT FOLLOWING THE INSTALLATION OF ALL DRAINAGE WORKS. ALL SURFACE MARKINGS AFFECTED BY THE WORKS SHALL BE FULLY REINSTATEMENT.
- ALL SURPLUS EXCAVATED MATERIAL SHALL BE DISPOSED IN A DESIGNATED AREA ON SITE.
- UPON COMPLETION OF THE WORKS THE CONTRACTOR SHALL PROVIDE AS BUILT SETTING OUT CO-ORDINATE AND LEVEL INFORMATION.
- PIPEWORK WITH LESS THAN 750mm OF COVER IN TRAFFICKED AREAS TO BE CONCRETE ENCASED, (BEDDING CLASS Z)
- PIPEWORK WITH MORE THAN 750mm OF COVER TO HAVE CLASS 5 GRANULAR BED AND SURROUND.
- POLYPROPYLENE INSPECTION CHAMBERS OF 5000 x 1.2m DEEP TO BE FITTED WITH A REDUCED ACCESS FITTING.
- ALL SOIL AND VENT PIPES TO HAVE A LOW LEVEL ACCESS PLATE.
- SOIL STACKS - WHERE SOIL STACKS SERVE MULTIPLE STOREYS THE STACK REST BEND IS TO BE MINIMUM 750mm BELOW THE LOWEST BRANCH CONNECTION.
- WHERE SEPARATE STACKS ARE PROVIDED FOR GROUND FLOOR, REST BENDS MAY BE 450mm MINIMUM BELOW THE LOWEST CONNECTION.
- SVP CONNECTIONS TO BE 100mm DIA UNO.
- ALL FOUL OUTLET LOCATIONS TO BE TO BE COMPLETE WITH A LOW LEVEL ACCESS PLATE FOR ROODING.
- WHERE PROPOSED DRAINAGE PIPEWORK RUNS ARE IN CLOSE PROXIMITY TO THE NEW FOUNDATIONS, THE CONTRACTOR SHALL ALLOW FOR EXTENDING THE DEPTH OF NEW FOUNDATIONS IN LEAN MIX CONCRETE DOWN TO THE PROPOSED PIPE BEDDING LEVEL.

LEGEND

| | | | |
|--|---|--|--|
| | EXISTING FOUL SEWER | | 6.0m PUBLIC SEWER EASEMENT, 8.0m WATER MAIN EASEMENT |
| | PROPOSED SURFACE WATER DRAIN, (TYPICALLY 1000 FROM RWP AND 1500 FROM G/SU UNO) | | PROPOSED FOUL DRAIN (TYPICALLY 1000 UNO) |
| | PROPOSED SURFACE WATER PRECAST CONCRETE MANHOLE | | PROPOSED FOUL PRECAST CONCRETE MANHOLE |
| | PROPOSED SURFACE WATER POLYPROPYLENE INSPECTION CHAMBER AND ASSOCIATED SUMP OUTLET. | | PROPOSED FOUL POLYPROPYLENE INSPECTION CHAMBER AND ASSOCIATED SUMP OUTLET. |
| | PROPOSED LINEAR DRAINAGE CHANNEL AND ASSOCIATED SUMP OUTLET. | | PROPOSED COMBINED KERB DRAIN AND ASSOCIATED SUMP OUTLET. |
| | PROPOSED TRAPPED ROAD GULLY. | | PROPOSED SIPHONIC RAINWATER DOWN SPOUT. |
| | PROPOSED SURFACE WATER CELLULAR ATTENUATION SYSTEM. | | PROPOSED PERMEABLE BLOCK PAVING (TANKED) |
| | 8.0m WATER MAIN EASEMENT | | PROPOSED FOUL GULLY OUTLET. |
| | PROPOSED FOUL POLYPROPYLENE INSPECTION CHAMBER | | PROPOSED FOUL PRECAST CONCRETE MANHOLE |
| | PROPOSED FOUL GULLY OUTLET. | | EX. FOUL PUBLIC SEWER TO BE SEALED AND GOUTED. |
| | EX. FOUL PUBLIC SEWER TO BE SEALED AND GROUTED. | | EX. FT CABLE TO BE DIVERTED. |
| | EX. FT CABLE TO BE DIVERTED. | | NEW BT CABLE DIVERSION. |
| | EX. WATER MAIN TO BE PROTECTED DURING WORKS. | | RED LINE BOUNDARY. |

PLEASE NOTE:
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| | | | | | | | |
|--|------------|-------------|-------------|-------------|------------------------------------|-----|-----|
| DATE | 25.02.2021 | BY | CF | DESCRIPTION | UPDATED TO SHIT LATEST ARCH LAYOUT | CHK | APD |
| REV | DATE | BY | DESCRIPTION | CHK | APD | | |
| DRAWING STATUS: PRELIMINARY | | | | | | | |
| | | | | | | | |
| CLIENT: BCL (Maple Cross) LLP | | | | | | | |
| ARCHITECT: C4 Consulting | | | | | | | |
| PROJECT: MAPLE CROSS, RICKMANSWORTH. | | | | | | | |
| TITLE: GENERAL ARRANGEMENT SHOWING PROPOSED FOUL AND SURFACE WATER DRAINAGE LAYOUT. SHEET 1. | | | | | | | |
| START DATE | 22.01.2019 | DRAWN BY | C.FITTON | CHECKED | SGJ | | |
| SHEET SIZE | A0 | SCALE | 1:250 | APPROVED | PJB | | |
| PROJECT NO. | T_17_1999 | DRAWING NO. | 55-01 | REV. | | | P17 |

| Area Schedule (GEA) | | | |
|-------------------------------|--------------------------------|--|-------------------------------|
| Name | Area | | Imperial |
| | Metric | | |
| UNIT 1 | | | |
| Unit 1 - Warehouse GEA | 7,938.18 m ² | | 85,446 ft ² |
| Unit 1 - Core GEA | 59.41 m ² | | 640 ft ² |
| Unit 1 - 1st Floor Office GEA | 547.88 m ² | | 5,895 ft ² |
| Unit 1 - 2nd Floor Office GEA | 547.88 m ² | | 5,895 ft ² |
| | 9,092.96 m ² | | 97,876 ft ² |
| UNIT 2 | | | |
| Unit 2 - Warehouse GEA | 6,497.60 m ² | | 69,940 ft ² |
| Unit 2 - Core GEA | 56.26 m ² | | 606 ft ² |
| Unit 2 - 1st Floor Office GEA | 461.80 m ² | | 4,971 ft ² |
| Unit 2 - 2nd Floor Office GEA | 461.80 m ² | | 4,971 ft ² |
| | 7,477.45 m ² | | 80,487 ft ² |
| TOTAL | 16,570.41 m² | | 178,362 ft² |

| Area Schedule (GIA) | | | |
|--------------------------------|--------------------------------|--|-------------------------------|
| Name | Area | | Imperial |
| | Metric | | |
| UNIT 1 | | | |
| Unit 1 - Warehouse Area | 7,770.19 m ² | | 83,638 ft ² |
| Unit 1 - Core Area | 52.41 m ² | | 564 ft ² |
| Unit 1 - 1st Floor Office Area | 502.00 m ² | | 5,403 ft ² |
| Unit 1 - 2nd Floor Office Area | 502.00 m ² | | 5,403 ft ² |
| | 8,826.60 m ² | | 95,009 ft ² |
| UNIT 2 | | | |
| Unit 2 - Warehouse Area | 6,359.07 m ² | | 68,448 ft ² |
| Unit 2 - Core Area | 51.79 m ² | | 557 ft ² |
| Unit 2 - 1st Floor Office Area | 438.82 m ² | | 4,723 ft ² |
| Unit 2 - 2nd Floor Office Area | 438.82 m ² | | 4,723 ft ² |
| | 7,288.50 m ² | | 78,453 ft ² |
| TOTAL | 16,115.10 m² | | 173,462 ft² |

| Parking Schedule | |
|---------------------------|------------|
| Description | Count |
| Unit 1 | |
| Disabled parking bay | 4 |
| Rigid vehicle parking bay | 21 |
| Standard car parking bay | 100 |
| Unit 2 | |
| Disabled parking bay | 4 |
| Rigid vehicle parking bay | 17 |
| Standard car parking bay | 58 |
| | 79 |
| TOTAL: 179 | 179 |

0m 10m 20m 30m 40m
VISUAL SCALE 1:500 @ A1

PLANNING

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| Hazard Identification | | |
|-----------------------|--------|------|
| ref | hazard | date |
| | | |

PLANNING KEY

Application Boundary

Note: Boundary Lines shown are indicative, based on information provided - Land Registry title ownership to be confirmed by client.

- Proposed Building
- Existing Buildings
- Soft Landscaping
- Existing Trees

Note: Soft Landscaping shown indicatively, refer to Landscape Architect scheme drawing for detailed proposals

| | | | | |
|-----|---|----|----------|------|
| P17 | Parking space clarification | GE | 20.03.21 | GE |
| P16 | Planning Re-submission | BC | 28.01.21 | GE |
| P15 | Update Issue | BC | 22.12.20 | GE |
| P14 | Root protection zones indicated. Path diverted around protected tree. | MK | 11.03.20 | JP |
| P13 | Trees to be removed updated in line with greenage drawing dated 22/10/19 | JC | 10.03.20 | JP |
| P12 | Road and pedestrian walkway updated as per tree locations. Greengage trees and root protection zone added. | MK | 05.02.20 | JP |
| P11 | Parking updated | JC | 22.10.19 | DC |
| P10 | Access to unit 2 service yard moved & bay omitted in Unit 1 car park to retain existing trees as detailed. | AB | 21.10.19 | NR |
| P9 | Updated to increase visual screening | JC | 23.09.19 | JP |
| P8 | Unit 2 footprint reduced & GLs updated. | JC | 17.09.19 | DC |
| P7 | Updated as requested by client | VV | 13.09.19 | DC |
| P6 | New proposed footpath has been altered to retain T10 as requested by the LPA | PC | 25.07.19 | NR |
| P5 | Overall of 40no. HGV parking spaces are now shown on the drawing in line with information provided by the Planning Consultant. Proposed site plan and parking schedule have been updated. | PC | 25.07.19 | NR |
| P4 | Information updates in line with comments received | PC | 14.06.19 | DCNR |
| P3 | Issued for PLANNING | PC | 12.06.19 | DCNR |
| P2 | Drawing issued replacing drawing 17019-C4P-AV-00-DR-00-0100_L_Site Plan as Proposed for Planning Purposes. | PC | 07.06.19 | DC |
| P1 | First Issue | PC | 07.06.19 | DC |

C4 Projects
Quayside, Widsopool Business Park, Stockton Heath, WAA CHL
t: 01925 751 852
e: info@c4projects.co.uk
www.c4projects.co.uk

Project Management • Architecture • Building Surveying • Cost Consultancy

Client
BCL (Maple Cross) LLP

Project
Land at Maple Lodge Close, Maple Cross, Rickmansworth

Drawing Title
Site Plan as Proposed

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by PC Created 07.06.2019

C4 Job no. 17019 Scale As indicated @ A1

Dwg no. 17019-C4P-AV-00-DR-A-0500 Rev P17

