

SECTION
(LIMITED ACCESS)

DATUM 80.00m



REVISIONS			
HAWKINS EADES ASSOCIATES ARCHITECTURAL PLANNING & DESIGN CONSULTANTS			
100 High Street Great Missenden Bucks HP16 0BE			
Tel: (01494) 891555/891666 Fax: (01494) 891222 e-mail: mail@hawkinseades.co.uk			
CLIENT	Altomart Ltd		
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD		
TITLE	Survey Location Plan Typical Cross Section		
DRWG No.	A1	4254	SUR 1,03 -
DATE	July 19	SCALE	1:50 & 1:1250
DRAWN BY	GSE	CHECKED	
Do not scale from this drawing, use dimensions only. All discrepancies must be reported to the Architect.			
© HAWKINS EADES ASSOCIATES			

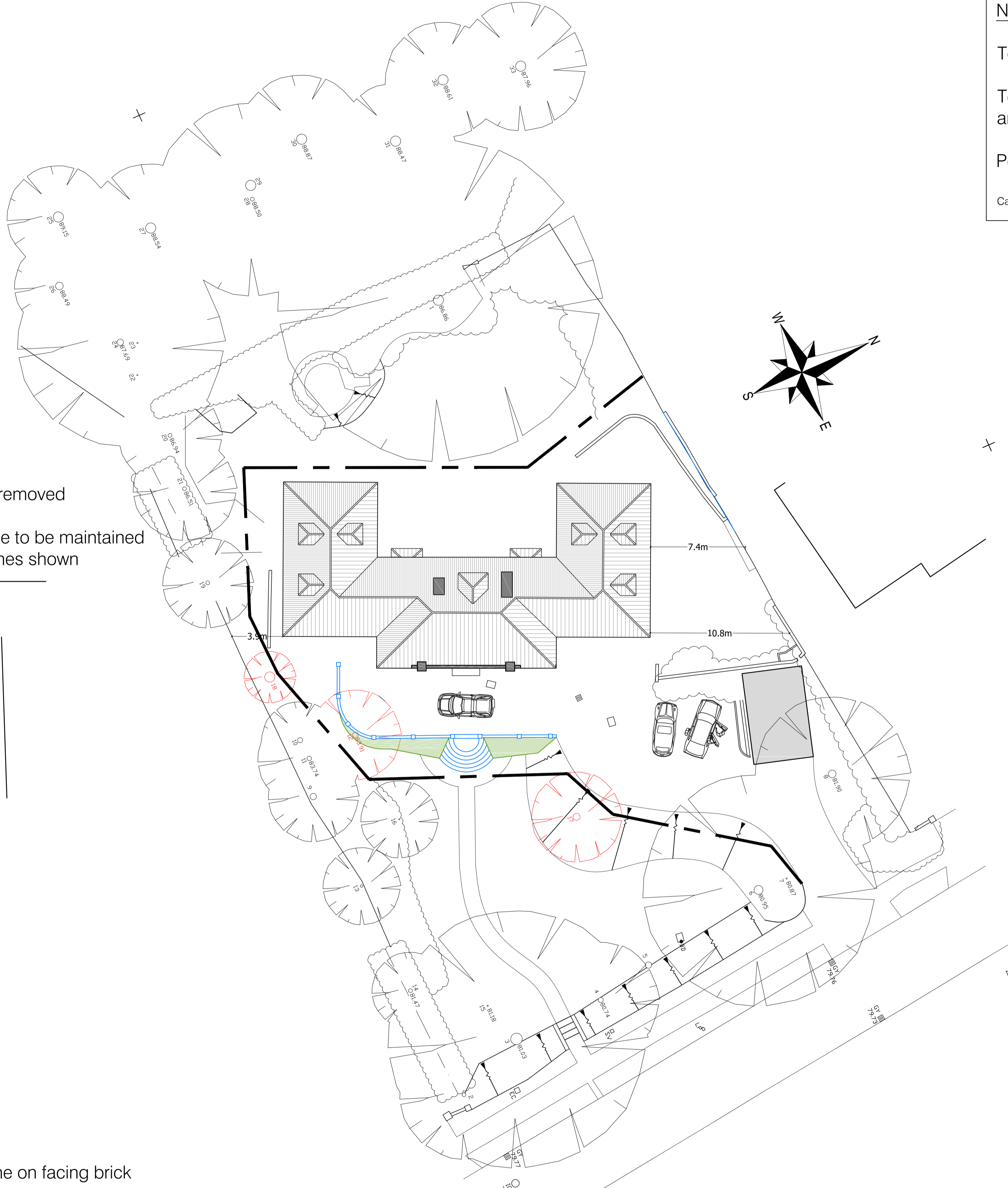


TREE SCHEDULE				
NO.	GIRTH (DBH)	SPREAD	HEIGHT	TYPE
1	0.80	25.00	21.00	EUCALYPTUS
2	0.30	10.00	12.00	SYCAMDRE
3	0.90	20.00	18.00	ASH
4	0.40	9.00	12.00	DAK
5	0.50	0.00	1.00	STUMP
6	0.70	18.00	18.00	C/BEECH
7	0.10	3.00	4.00	FIR
8	0.60	12.00	20.00	SYCAMDRE
9	0.50	7.00	10.00	DEAD
10	0.40	6.00	17.00	FIR
11	0.35	8.00	9.00	CHERRY
12	0.45	7.00	12.00	FIR
13	0.20	6.00	8.00	HAWTHORN
14	0.30	6.00	10.00	SYCAMDRE
15	0.10	4.00	2.00	CHERRY
16	0.10	6.00	5.00	SYCAMDRE
17	0.05	7.00	13.00	FIR
18	0.0018	4.00	15.00	FIR
19	0.30	7.00	9.00	SYCAMDRE
20	0.30	8.00	16.00	S/BIRCH
21	0.30	8.00	16.00	S/BIRCH
22	0.10	6.00	6.00	H/CHESTNUT
23	0.10	8.00	5.00	DAK
24	0.50	16.00	18.00	DAK
25	0.80	8.00	16.00	FIR
26	0.60	7.00	14.00	FIR
27	0.80	10.00	16.00	FIR
28	0.30	15.00	9.00	DAK
29	0.80	10.00	17.00	FIR
30	0.80	10.00	17.00	FIR
31	0.80	9.00	18.00	FIR
32	0.80	9.00	18.00	FIR
33	0.80	10.00	18.00	FIR

508100

TREES

Tree 12 a Fir to be removed,
 Trees 17 and 18 have consent to be removed
 by virtue of consent 19/2319/TPO.
 All other trees shown on tree schedule to be maintained
 protective fencing to be erected on lines shown
 thus:-



Notes to inform planning application.

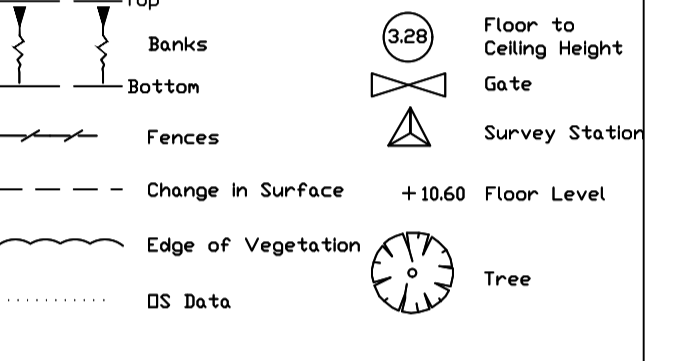
Total site area 2297m².

Total ground coverage area of proposed extended dwelling and existing garage 334m²

Percentage coverage 14.54%

Calculated from CAD Topographical Survey data.

ABBREVIATIONS	
ABH	Arched Beam Height
B	Brick
BAL	Balcony
BB	Beisha Beacon
BD	Back Drop
BH	Beam Height
BL	Bed Level
BP	Brick Pier
BRW	Brick Retaining Wall
BS	Bus Stop
BT	British Telecom
BV	Brick Wall
BWF	Barbed Wire Fence
C	Concrete
CAB	Cabinet
CBF	Close Boarded Fence
CBW	Concrete Block Wall
CIF	Corrugated Iron Fence
CL	Cover Level
CLF	Chain Link Fence
CDL	Column
CPF	Concrete Panel Fence
CPS	Concrete Paving Slabs
CRW	Concrete Retaining Wall
CSU	Ceiling Slopes Up
CTV	Cable Television
CV	Concrete Wall
CZY	Crazy Paving
D	Door
DH	Door Height
EC	Electricity Cover
ESG	Electrical Switch Gear
EH	Eave Height
EP	Electricity Pole
FB	Flower Bed
FC	False Ceiling
F/E	Fire Escape
FH	Fire Hydrant
FL	Floor Level
GY	Gully
GV	Gas Valve
HM	Hatch
IC	Inspection Cover
IL	Invert Level
IRF	Iron Railing Fence
IWF	Interwoven Fence
KD	Kerb Outlet
L	Light
LP	Lamp Post
MH	Manhole
MKR	Marker
MSF	Metal Security Fence
N/A	No Access
DHC	Overhead Cables
P	Post
PALF	Palisade Fence
PF	Picket Fence
PIT	Trail Pit
PL	Pavement Light
PM	Parking Meter
PRF	Post & Rail Fence
PWF	Post & Wire Fence
R	Road
RAD	Radiator
RE	Rodding Eye
RH	Ridge Height
RS	Road Sign
RVP	Rain Water Pipe
S	Stone
SV	Stop Valve
SL	Skylight
P	Soil Pipe
SP	Stone Paving Slabs
SPS	Stone Paving Slabs
SRW	Stone Retaining Wall
SW	Stone Wall
SWS	Surface Water Sewer
T	Top of Joist
TILE	TILE
TB	Telephone Box
TRW	Timber Retaining Wall
UJ	Underside of Joist
UR	Underside of Ridge Board
UWP	Underside of Wall Plate
V	Vent
VP	Vent Pipe
W	Window
WL	Water Level
WM	Water Meter
WMF	Wire Mesh Fence
WPF	Wooden Panel Fence
WCL	Window Cill Height
WHL	Window Head Height
WRW	Wooden Retaining Wall



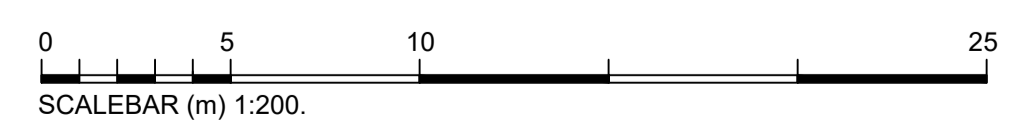
STATION CO-ORDINATE TABLE			
Ref.	East	North	Elevation
1	508188.183	193084.941	79.524
2	508195.189	193026.911	79.596

- NOTES**
1. ALL LEVELS SHOWN ARE RELATED TO ORDNANCE SURVEY GPS DATUM.
 2. TREE TYPES SHOWN ON THIS DRAWING CANNOT BE GUARANTEED AND IF CRITICAL SHOULD BE VERIFIED BY A TREE SPECIALIST. TREE SPREADS ARE AVERAGES UNLESS OTHERWISE INDICATED. TREE HEIGHTS ARE APPROXIMATE.
 3. ALTHOUGH CARE HAS BEEN TAKEN, DUE TO ACCESS LIMITATIONS ALL HIGH LEVEL DETAIL HAS BEEN SURVEYED REMOTELY AND NOT CHECKED BY PHYSICAL MEASUREMENTS.
 4. ALL CRITICAL MEASUREMENTS MUST BE CHECKED / VERIFIED.
 5. ALL CO-ORDINATES SHOWN RELATE TO AN ORDNANCE SURVEY DERIVED GRID.
 6. ALL DRAINAGE INFORMATION SHOWN SHOULD BE VALIDATED IF CRITICAL. PIPE SIZES SHOWN ARE APPROXIMATE. CONNECTIONS BETWEEN MANHOLES HAVE BEEN DETERMINED BY SOUNDING METHODS ONLY AND CONSEQUENTLY SHOULD NOT BE RELIED UPON.



MATERIAL NOTES

Driveway: Black tarmac
 Patios and paths: York stone
 Balustrade to front parking area: Stone on facing brick retaining wall



DATE	DESCRIPTION
06-20	Final refinement prior to submission
06-20	Block Plan altered to reflect consultants comments
04-20	Block Plan altered to reflect re-design
04-20	Roof Plan altered to reflect changes
02-20	Site plan altered to reflect re-application changes and details of trees consented for removal.

REVISIONS

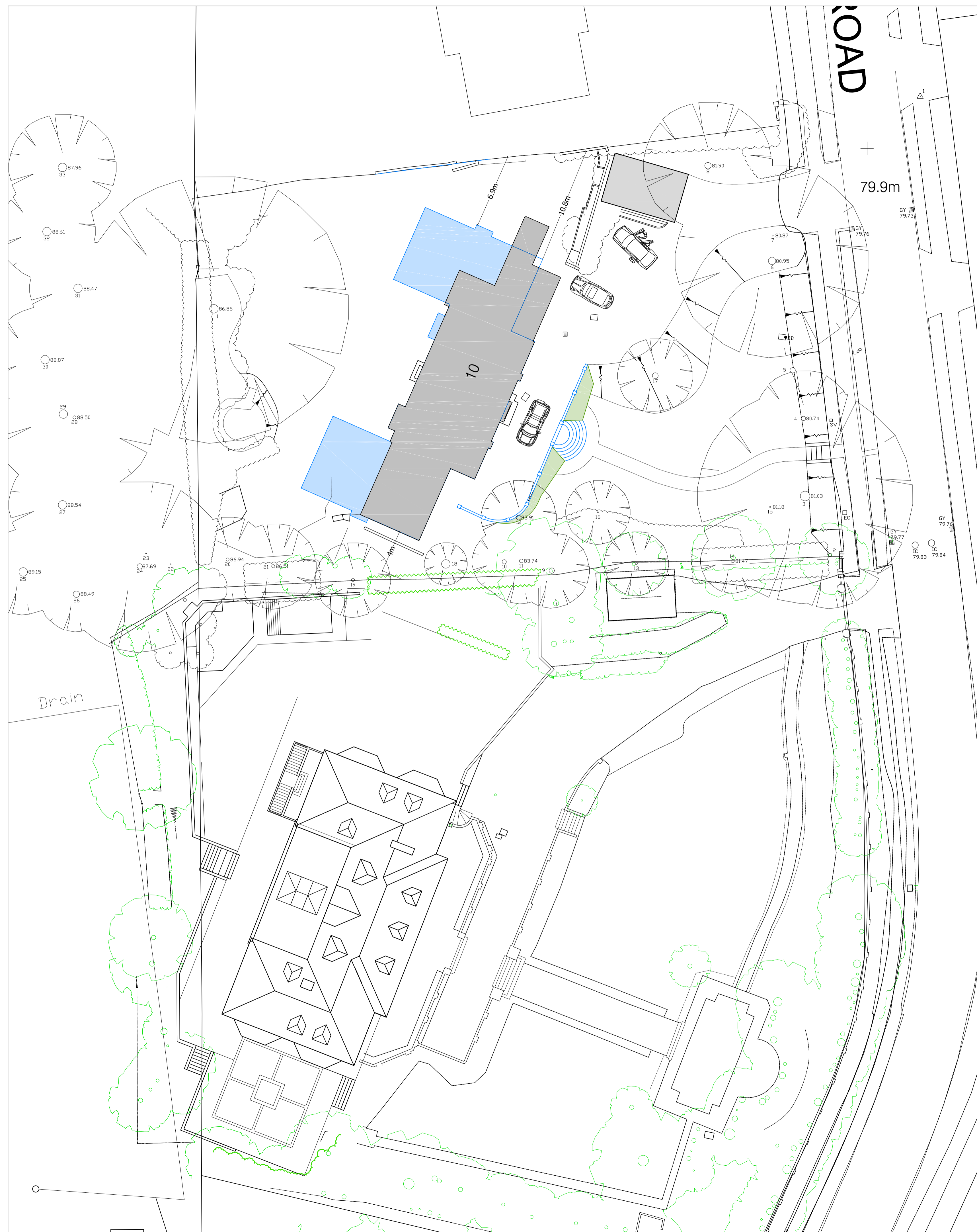
HAWKINS EADES ASSOCIATES
 ARCHITECTURAL
 PLANNING & DESIGN CONSULTANTS

100 High Street
 Great Missenden
 Bucks HP16 0BE

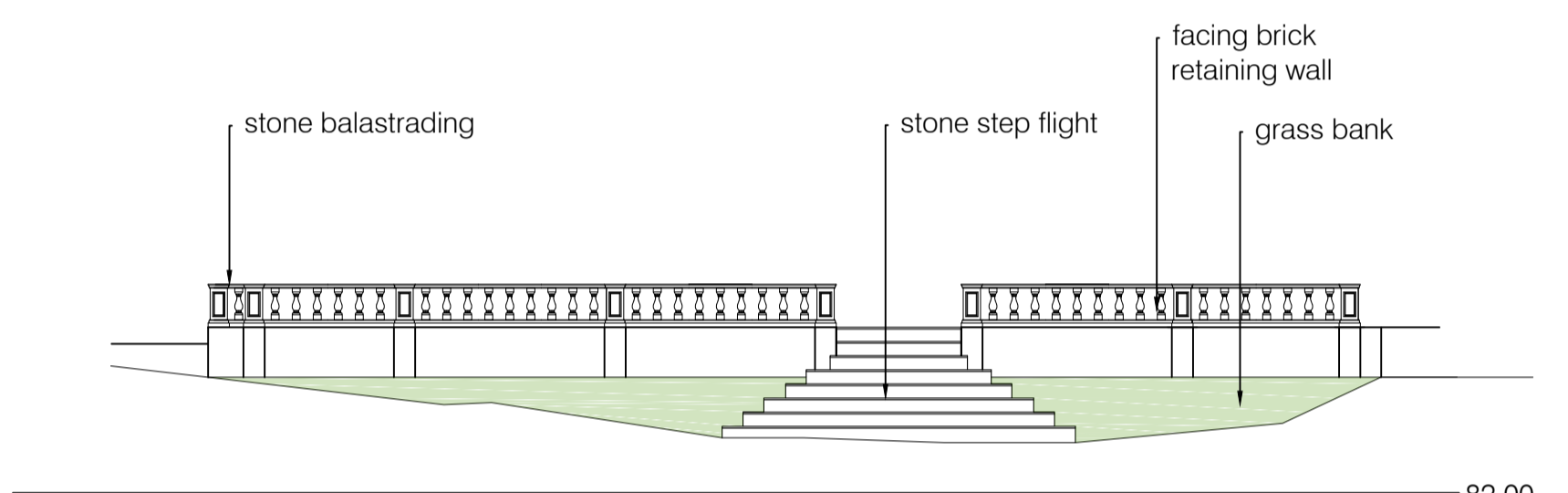
Tel: (01494) 891555/891666
 Fax: (01494) 891222
 e-mail: mail@hawkinseades.co.uk

CLIENT	Altomart Ltd
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD
TITLE	Planning Scheme Site Plan
DRWG No.	A1 4254 SCH 2.00 H
DATE	July 19 SCALE 1:200
DRAWN BY	GSE CHECKED

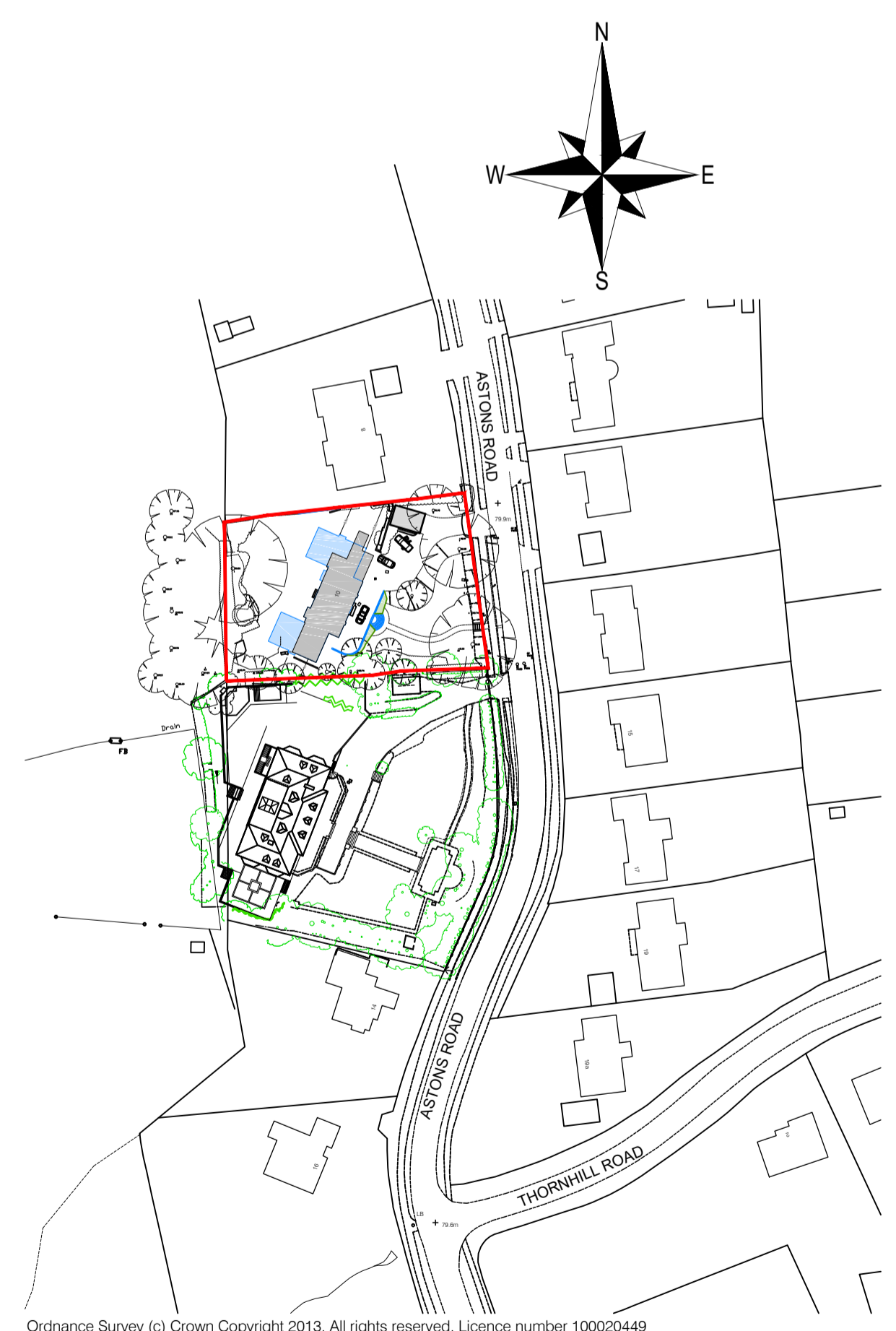
Do not scale from this drawing, use dimensions only.
 All discrepancies must be reported to the Architect.
 © HAWKINS EADES ASSOCIATES



FRONT ELEVATION



SCALEBAR (m) 1:100.



SCALEBAR (m) 1:1250.

SCALEBAR (m) 1:200.

G	23/06/20	Final refinement prior to submission
F	19/06/20	Altered following Consultants comments
E	02/05/20	Altered following Planning decision
D	02/04/20	Altered following Planning submission
C	30/01/20	Altered following Planning decision

REVISIONS

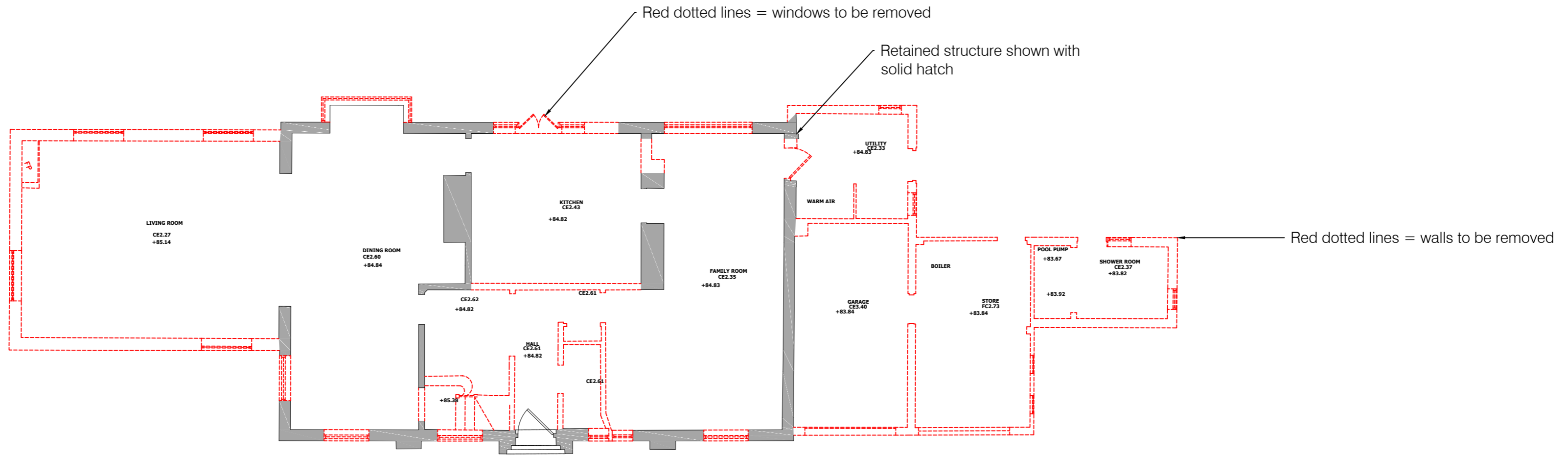
HAWKINS EADES ASSOCIATES
 ARCHITECTURAL
 PLANNING & DESIGN CONSULTANTS

100 High Street
 Great Missenden
 Bucks HP16 0BE

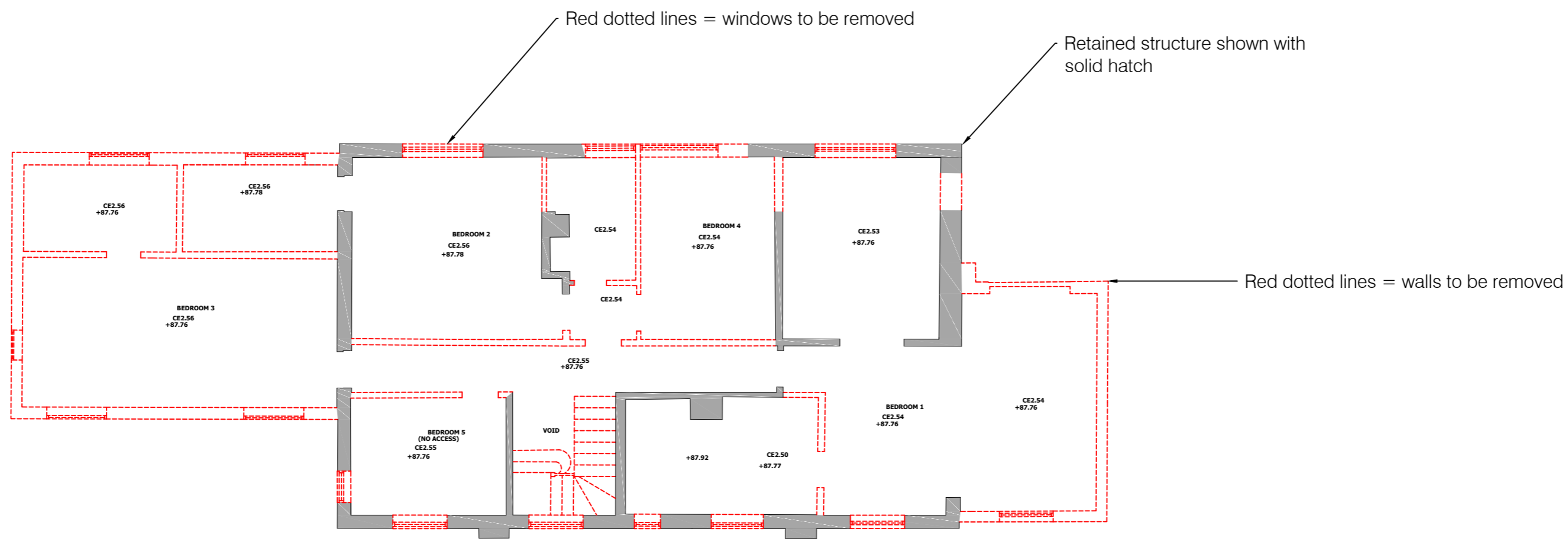
Tel: (01494) 891555/891666
 Fax: (01494) 891222
 e-mail: mail@hawkinseades.co.uk

CLIENT	Altomart Ltd				
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD				
TITLE	Planning Scheme Proposed Block Plan Balustrading detail				
DRWG No.	A1	4254	SCH	2.03	G
DATE	July 19	SCALE	1:200, 1:100 & 1:50		
DRAWN BY	GSE	CHECKED			

Do not scale from this drawing, use dimensions only.
 All discrepancies must be reported to the Architect.
 © HAWKINS EADES ASSOCIATES



GROUND FLOOR



FIRST FLOOR



A 23/06/20 Final refinement prior to submission	
REVISIONS	
HAWKINS EADES ASSOCIATES ARCHITECTURAL PLANNING & DESIGN CONSULTANTS	
	
100 High Street Great Missenden Bucks HP16 0BE	
Tel: (01494) 891555/891666 Fax: (01494) 891222 e-mail: mail@hawkinseades.co.uk	
CLIENT	Altomart Ltd
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD
TITLE	Planning Scheme Proposed alteration plan
DRWG No.	A2 4254 SCH 2.04 A
DATE	July 19 SCALE 1:100
DRAWN BY	GSE CHECKED
Do not scale from this drawing, use dimensions only. All discrepancies must be reported to the Architect.	
© HAWKINS EADES ASSOCIATES	

PROPOSED FRONT AND REAR ELEVATIONS



FRONT ELEVATION

DATUM 88.00m



REAR ELEVATION

DATUM 88.00m

EXISTING FRONT AND REAR ELEVATIONS



FRONT ELEVATION

DATUM 88.00m



REAR ELEVATION

DATUM 88.00m

MATERIAL NOTES

Roof tiles: Plain Clay in antique finish with bonnet hips
 Facing Bricks: To match existing facing bricks.
 Windows and Doors: Painted timber casements
 Rear Extension: Facing Bricks to match existing
 Gutters and Downpipes: Black Metal.



REVISIONS				
HAWKINS EADES ASSOCIATES ARCHITECTURAL PLANNING & DESIGN CONSULTANTS 				
100 High Street Great Missenden Bucks HP16 0BE Tel: (01494) 891555/891666 Fax: (01494) 891222 e-mail: mail@hawkinseades.co.uk				
CLIENT	Altomart Ltd			
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD			
TITLE	Planning Scheme Proposed and Existing Front and Rear Elevations			
DRWG No.	A1	4254	SCH	2.05
DATE	Aug 20	SCALE	1:100	
DRAWN BY	GSE	CHECKED		
Do not scale from this drawing, use dimensions only. All discrepancies must be reported to the Architect. © HAWKINS EADES ASSOCIATES				



FRONT ELEVATION

DATUM 88.00m



LHS ELEVATION

DATUM 88.00m



REAR ELEVATION

DATUM 88.00m



RHS ELEVATION

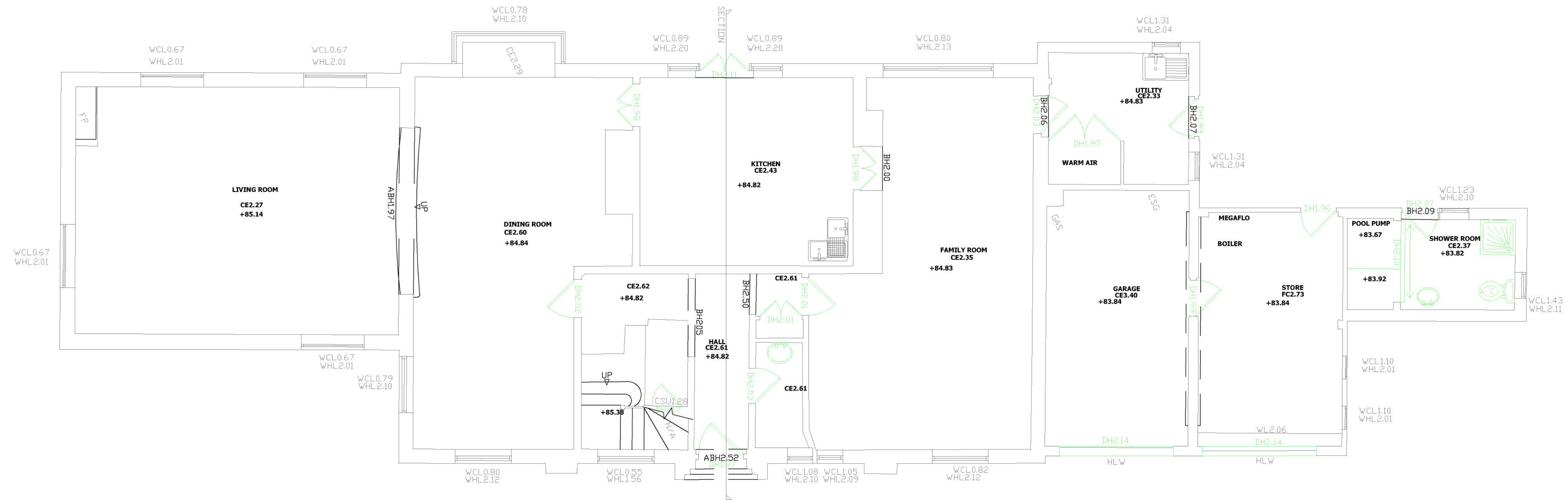
DATUM 88.00m



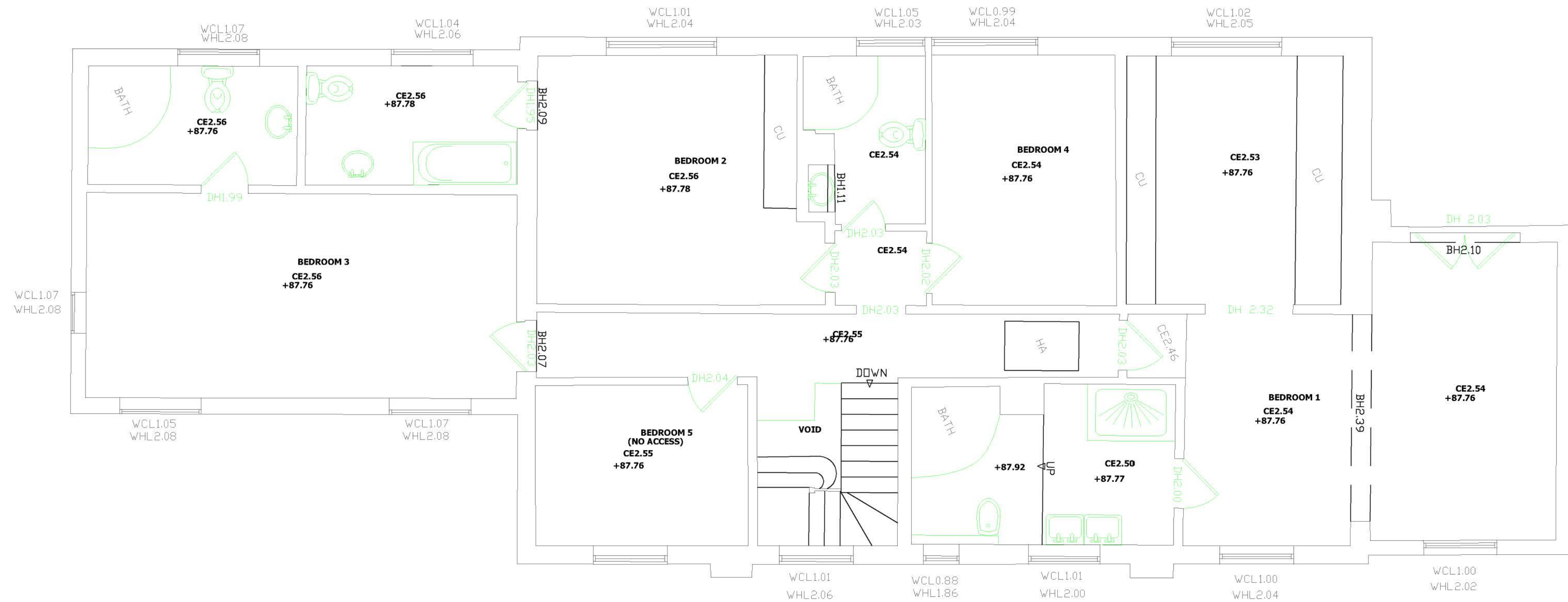
SURVEY SERVICES LTD.

REVISIONS			
HAWKINS EADES ASSOCIATES ARCHITECTURAL PLANNING & DESIGN CONSULTANTS			
100 High Street Great Missenden Bucks HP16 0BE			
Tel: (01494) 891555/891666 Fax: (01494) 891222 e-mail: mail@hawkinseades.co.uk			
CLIENT	Altomart Ltd		
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD		
TITLE	Survey Existing Elevations		
DRWG No.	A1	4254	SUR 1,01 -
DATE	July 19	SCALE	1:100
DRAWN BY	GSE	CHECKED	
Do not scale from this drawing, use dimensions only. All discrepancies must be reported to the Architect.			
© HAWKINS EADES ASSOCIATES			





GROUND FLOOR

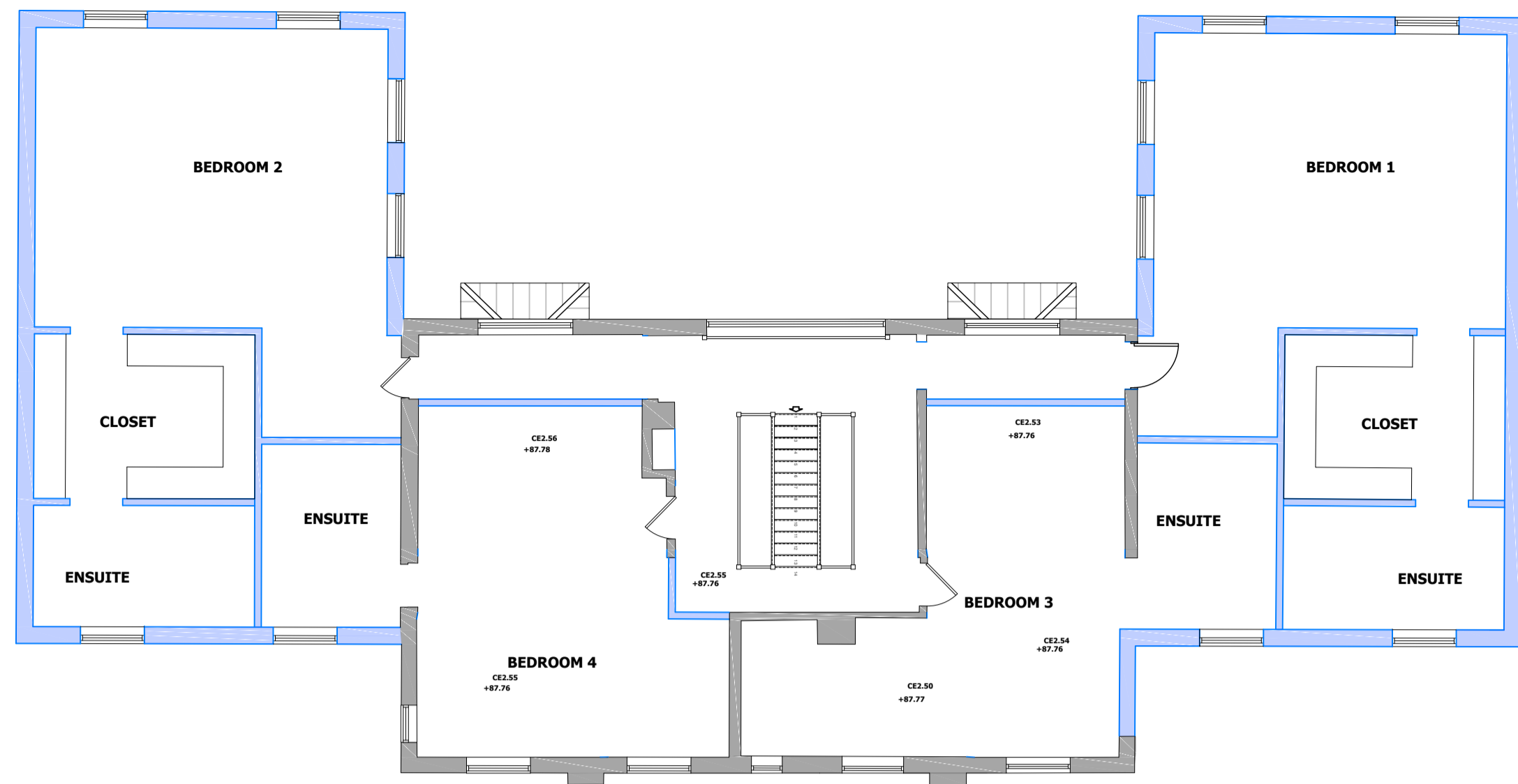


FIRST FLOOR

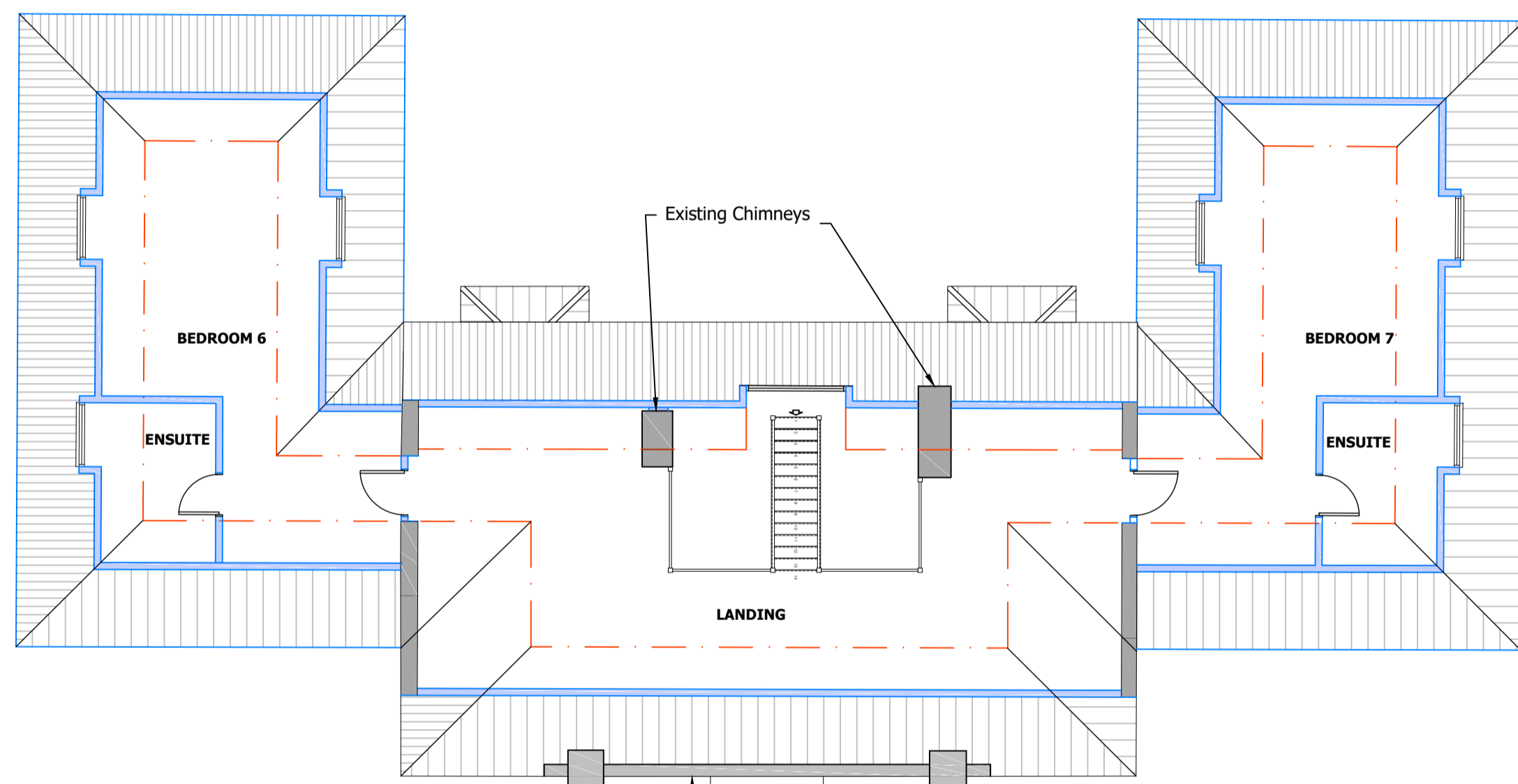


REVISIONS			
HAWKINS EADES ASSOCIATES ARCHITECTURAL PLANNING & DESIGN CONSULTANTS			
100 High Street Great Missenden Bucks HP16 0BE			
Tel: (01494) 891555/891666 Fax: (01494) 891222 e-mail: mail@hawkinseades.co.uk			
CLIENT	Altomart Ltd		
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD		
TITLE	Survey Existing Floor Plans		
DRWG No.	A1	4254	SUR 1.02 -
DATE	July 19	SCALE	1:50
DRAWN BY	GSE	CHECKED	
Do not scale from this drawing, use dimensions only. All discrepancies must be reported to the Architect.			
© HAWKINS EADES ASSOCIATES			

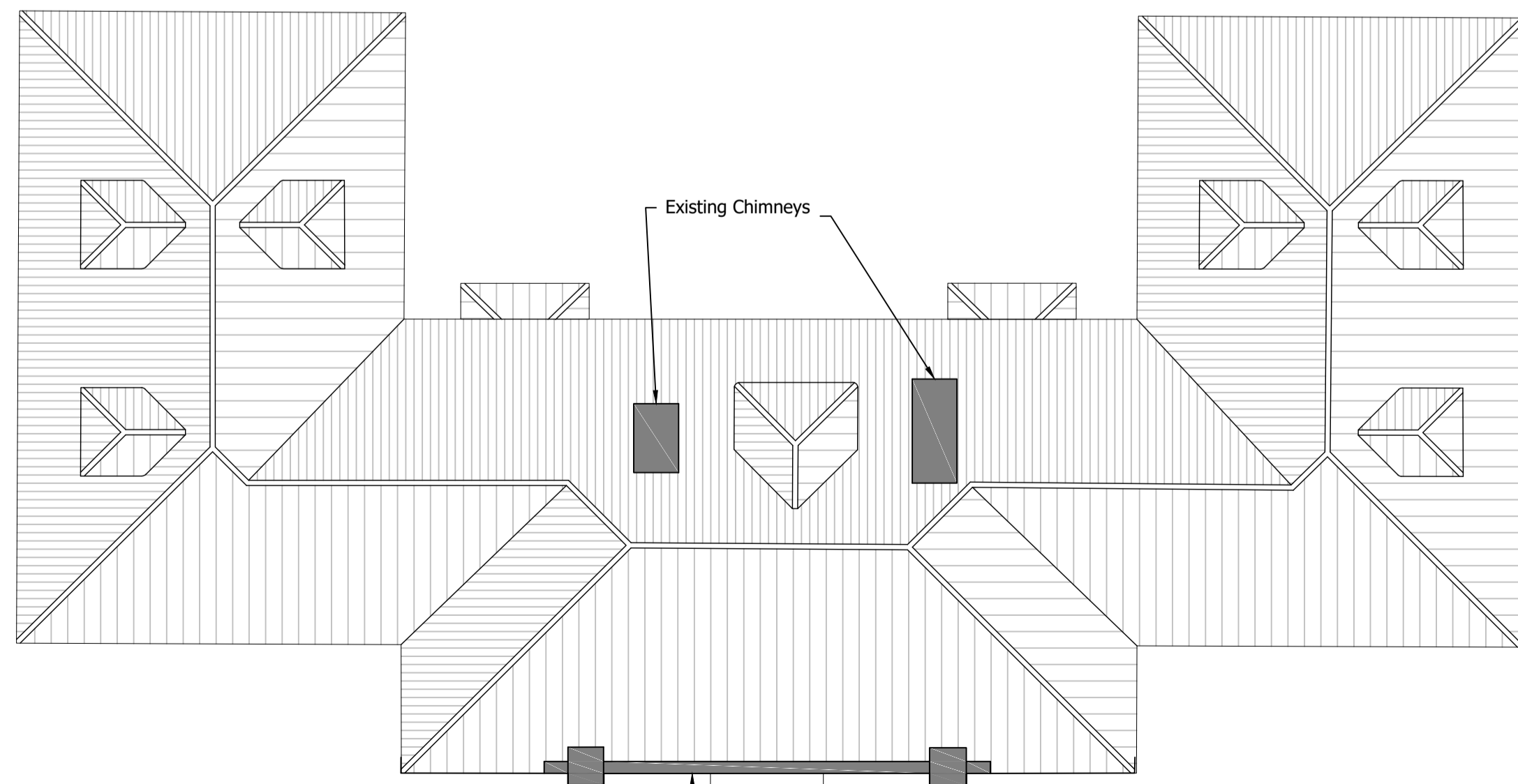




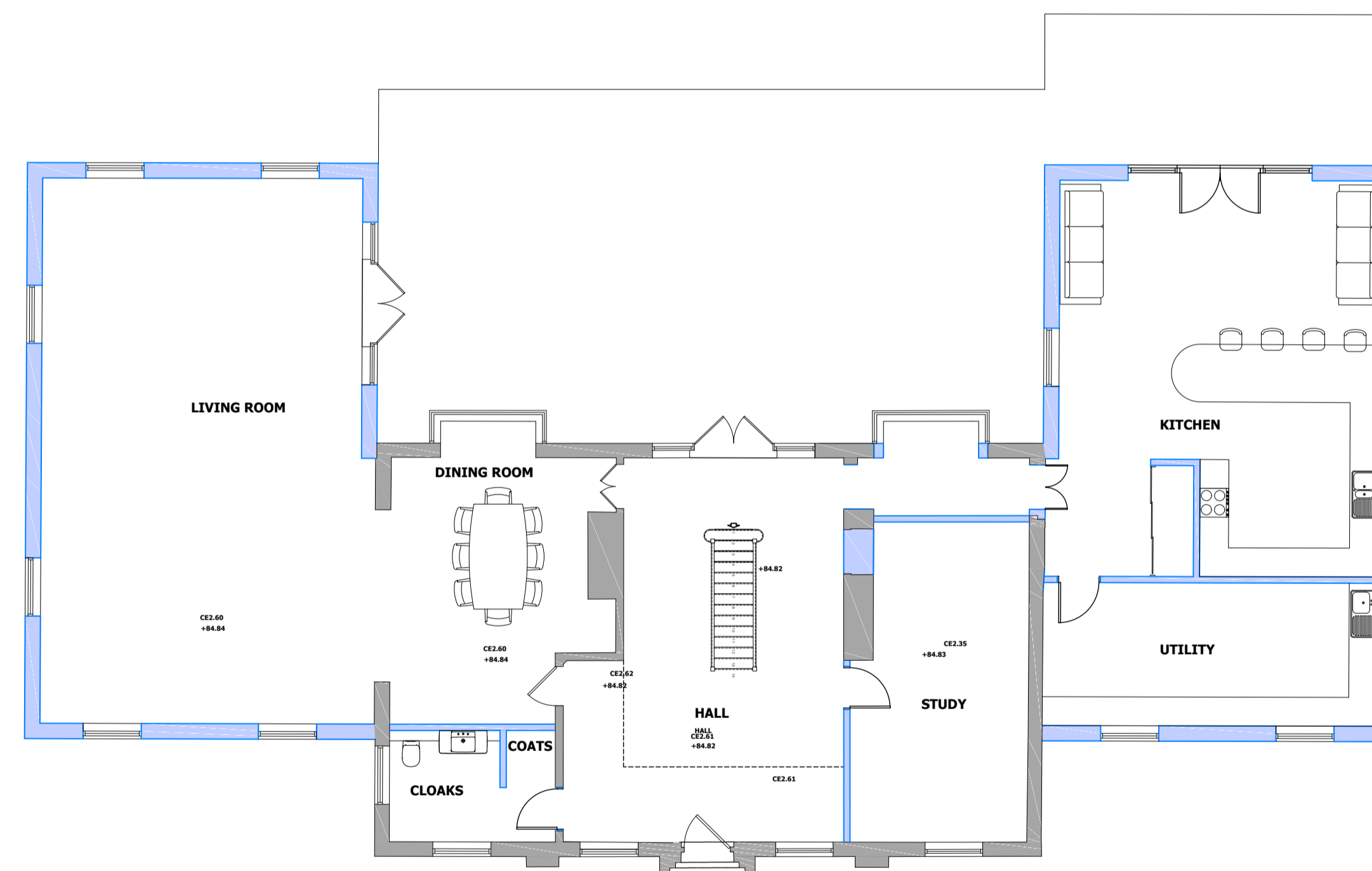
FIRST FLOOR



SECOND FLOOR



ROOF PLAN



GROUND FLOOR

J	26/08/20	Shading added to existing retained structure
H	23/06/20	Final refinement prior to submission
G	30/04/20	Altered following redesign
F	02/04/20	Altered following Planning submission
E	27/03/20	Altered following Planning submission
D	30/01/20	Altered following Planning decision
C	10/12/19	Altered following Conservation comments

HAWKINS EADES ASSOCIATES
 ARCHITECTURAL
 PLANNING & DESIGN CONSULTANTS

100 High Street
 Great Missenden
 Bucks HP16 0BE

Tel: (01494) 891555/891666
 Fax: (01494) 891222
 e-mail: mail@hawkinseades.co.uk

CLIENT	Altomart Ltd				
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD				
TITLE	Initial Scheme Proposed Floor Plans				
DRWG No.	A1	4254	SCH	2.02	J
DATE	July 19	SCALE	1:100		
DRAWN BY	GSE	CHECKED			

Do not scale from this drawing, use dimensions only.
 All discrepancies must be reported to the Architect.
 © HAWKINS EADES ASSOCIATES





window returned to original depth
 unsightly pipe work removed from principle elevation
 window returned to original depth

FRONT ELEVATION

DATUM 80.00m



LHS ELEVATION

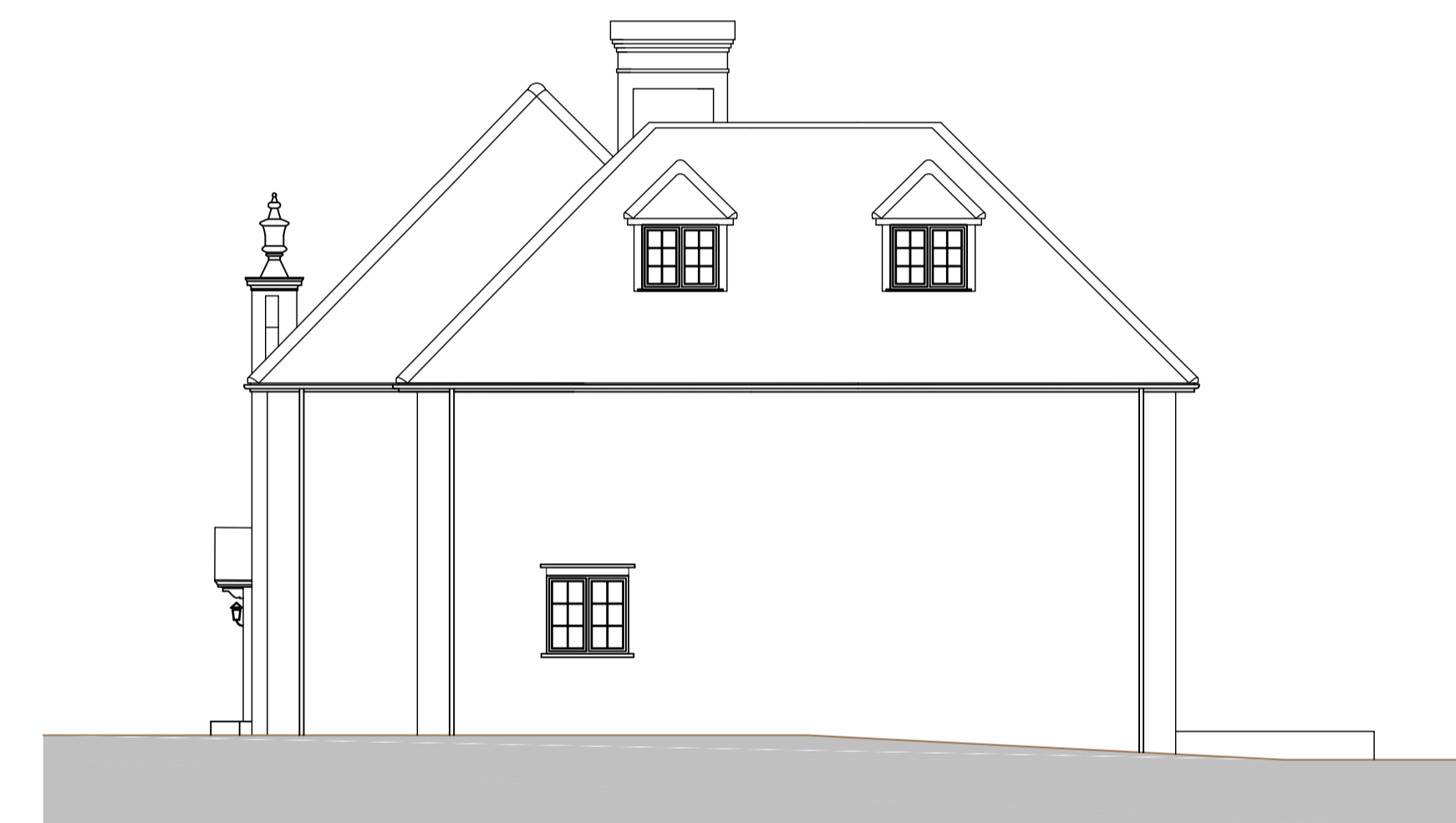
DATUM 80.00m



unsightly pipe work removed from rear elevation
 unsightly pipe work removed from rear elevation

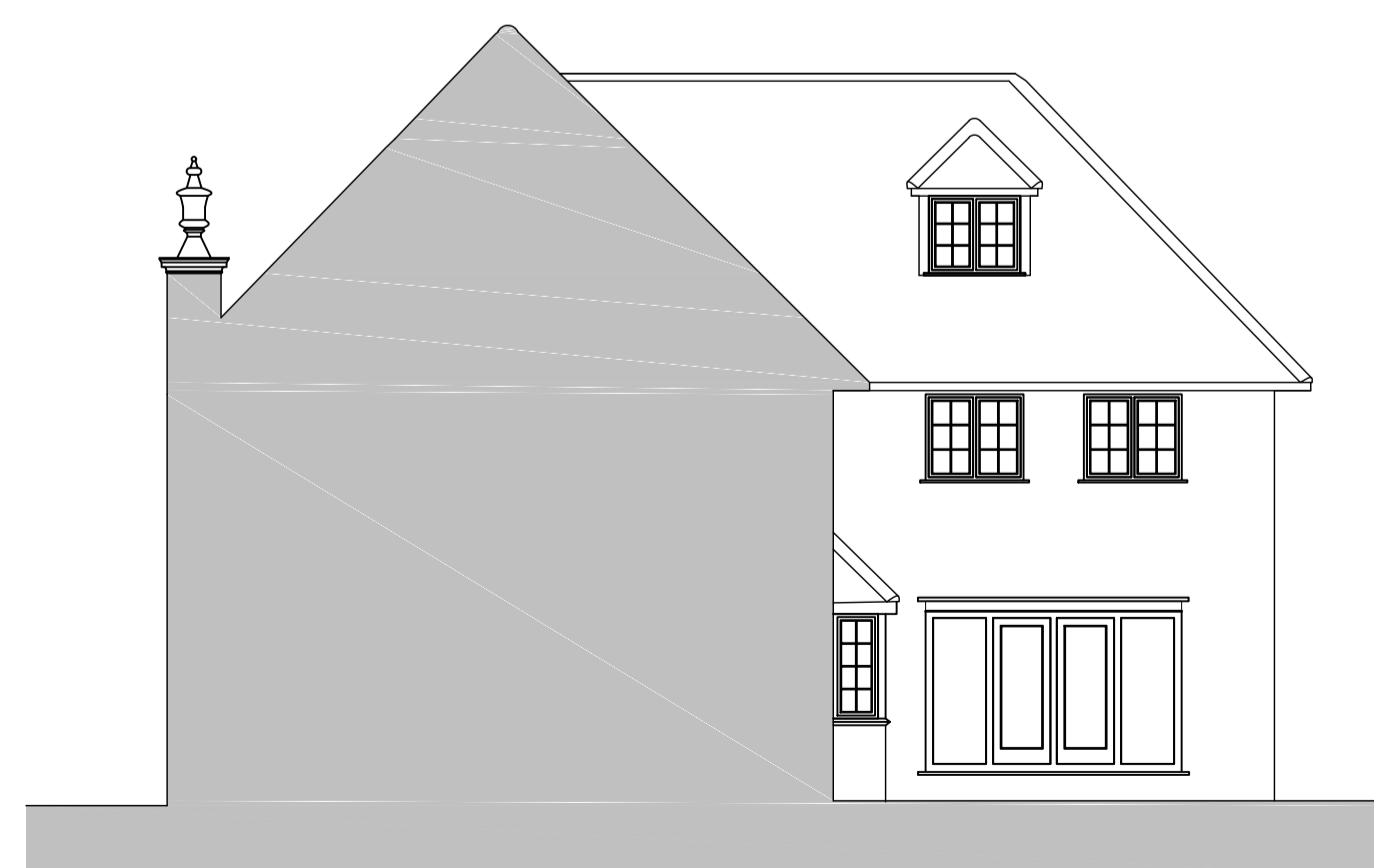
REAR ELEVATION

DATUM 80.00m



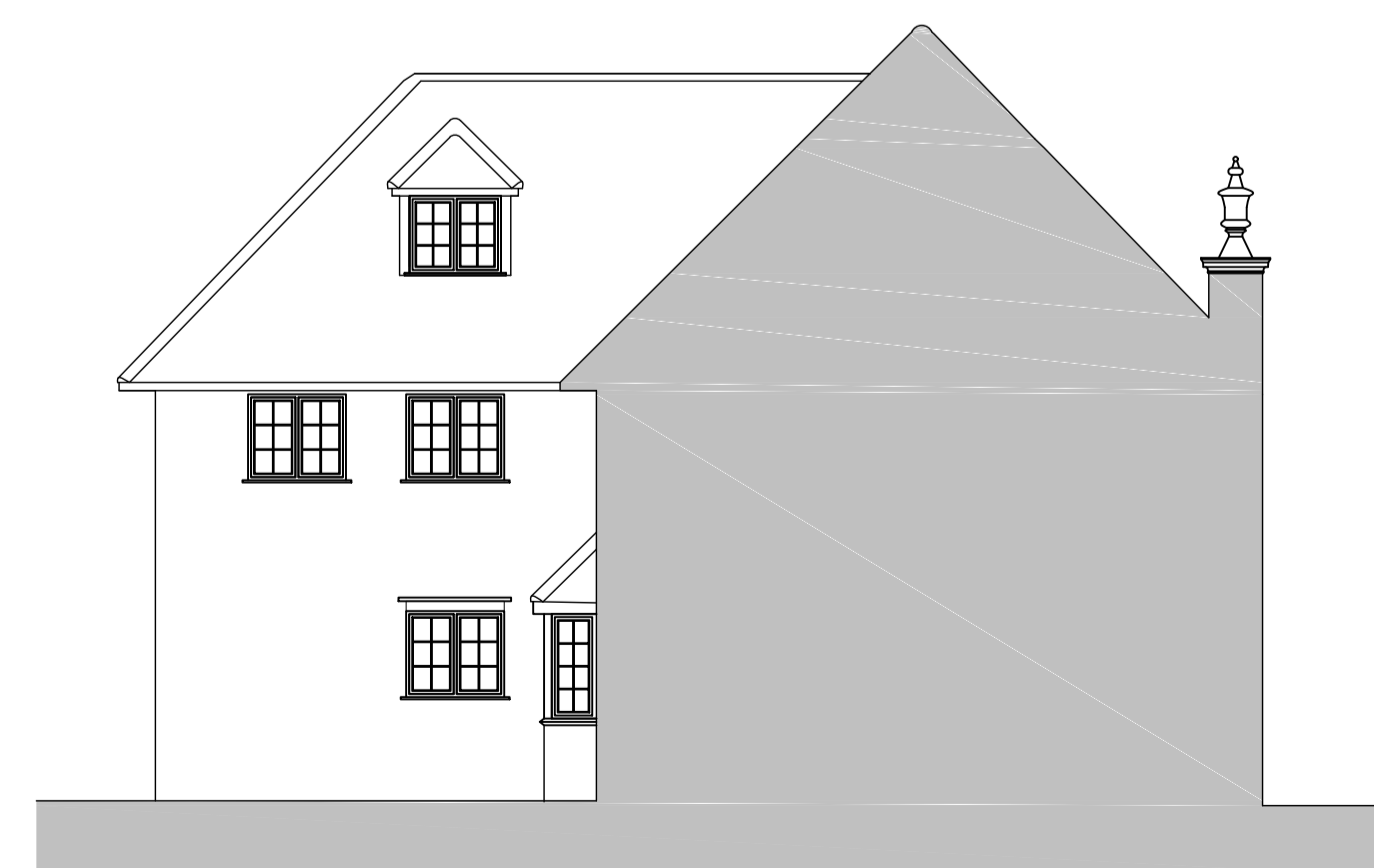
RHS ELEVATION

DATUM 80.00m



COURTYARD ELEVATION

DATUM 80.00m



COURTYARD ELEVATION

DATUM 80.00m

MATERIAL NOTES

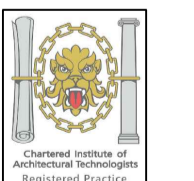
Roof tiles: Plain Clay in antique finish with bonnet hips
 Facing Bricks: To match existing facing bricks.
 Windows and Doors: Painted timber casements
 Rear Extension: Facing Bricks to match existing
 Gutters and Downpipes: Black Metal.



K	11/08/20	Rear Courtyard Elevations Added
J	23/06/20	Final refinement prior to submission
H	19/06/20	Altered following Consultants Comments
G	30/04/20	Altered following redesign.
F	02/04/20	Altered following Planning submission
E	27/03/20	Altered following Planning submission
D	30/01/20	Altered following Planning decision
C	10/12/19	Altered following Conservation comments

REVISIONS

HAWKINS EADES ASSOCIATES
 ARCHITECTURAL
 PLANNING & DESIGN CONSULTANTS



100 High Street
 Great Missenden
 Bucks HP16 0BE

Tel: (01494) 891555/891666
 Fax: (01494) 891222
 e-mail: mail@hawkinseades.co.uk

CLIENT	Altomart Ltd				
PROJECT	Proposed Alterations Chelsea House, 10 Astons Road Moor Park, HA6 2LD				
TITLE	Planning Scheme Proposed Elevations				
DRWG No.	A1	4254	SCH	2.01	J
DATE	July 19	SCALE	1:100		
DRAWN BY	GSE	CHECKED			
<small>Do not scale from this drawing, use dimensions only. All discrepancies must be reported to the Architect. © HAWKINS EADES ASSOCIATES</small>					