

Red line indicates Site Boundary.
Approx. area:
0.21ha
0.518ac
2096m²

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Materials prohibited from use, except where used in accordance with 'Good Practice in the Selection of Construction Materials (March 2011)' or unless required by the Contract:

- a) high alumina cement in the structural elements;
 - b) wood wool slabs in permanent formwork to concrete;
 - c) calcium chloride admixtures for use in reinforced concrete;
 - d) asbestos or asbestos-containing products, as defined in the 'Control of Asbestos at Work Regulations, as amended 2012' or any other statutory modification or re-enactment thereof;
 - e) any naturally occurring or man made mineral fibres (for example, rock-wool or slag wool) with a thickness of 3 microns or less and a length of 200 microns or less, unless they are appropriately sealed to prevent migration of fibres;
 - f) aggregates for use in reinforced concrete which do not comply with:
 - *BS EN 12620:2002: properties of aggregates used in concrete;
 - *BS EN 13139:2002: Properties of aggregates used in mortar;
 - *BS EN 13055 (Parts 1 & 2): properties of lightweight aggregates;
 - *Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 330 (2004) & 'Concrete Society Technical Report 30 (1999)';
 - g) lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
 - h) urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre-free: calcium silicate bricks or tiles;
 - k) any products containing cadmium referred to in Statutory Instrument 'SI 2006/3311 Controls on dangerous substances and preparations Regulations 2006'. Reference should also be made to 'THE IDGE391 Cadmium and you';
 - l) any new timber treated with pentachlorophenol;
 - m) non galvanised mild steel structural fixings for building elements particularly susceptible to erosion;
 - n) concrete used in circumstances where it is susceptible to alkali/silica reaction;
 - o) materials containing chlorofluorocarbons (CFC's);
 - p) solvent based paints except where water based paints are unsuitable for unavailable;
 - q) any new materials not in accordance with statutory requirements, British Standards;
- Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.

Planning Condition No.2 Variation - March 2020

Site areas added.	26-03-2020 / SAJ
Linear scale bar added.	21-08-2019 / SAJ
Issued for approval.	09-08-2019 / SAJ

REVISION DETAILS

- Preliminary
- For Approval
- Tender
- Construction

CLIENT
Westgate Healthcare Group Limited

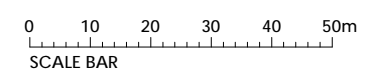
PROJECT
Burford House, Rickmansworth Road, Chorleywood WD3 5SQ

DRAWING TITLE
Site Location Plan

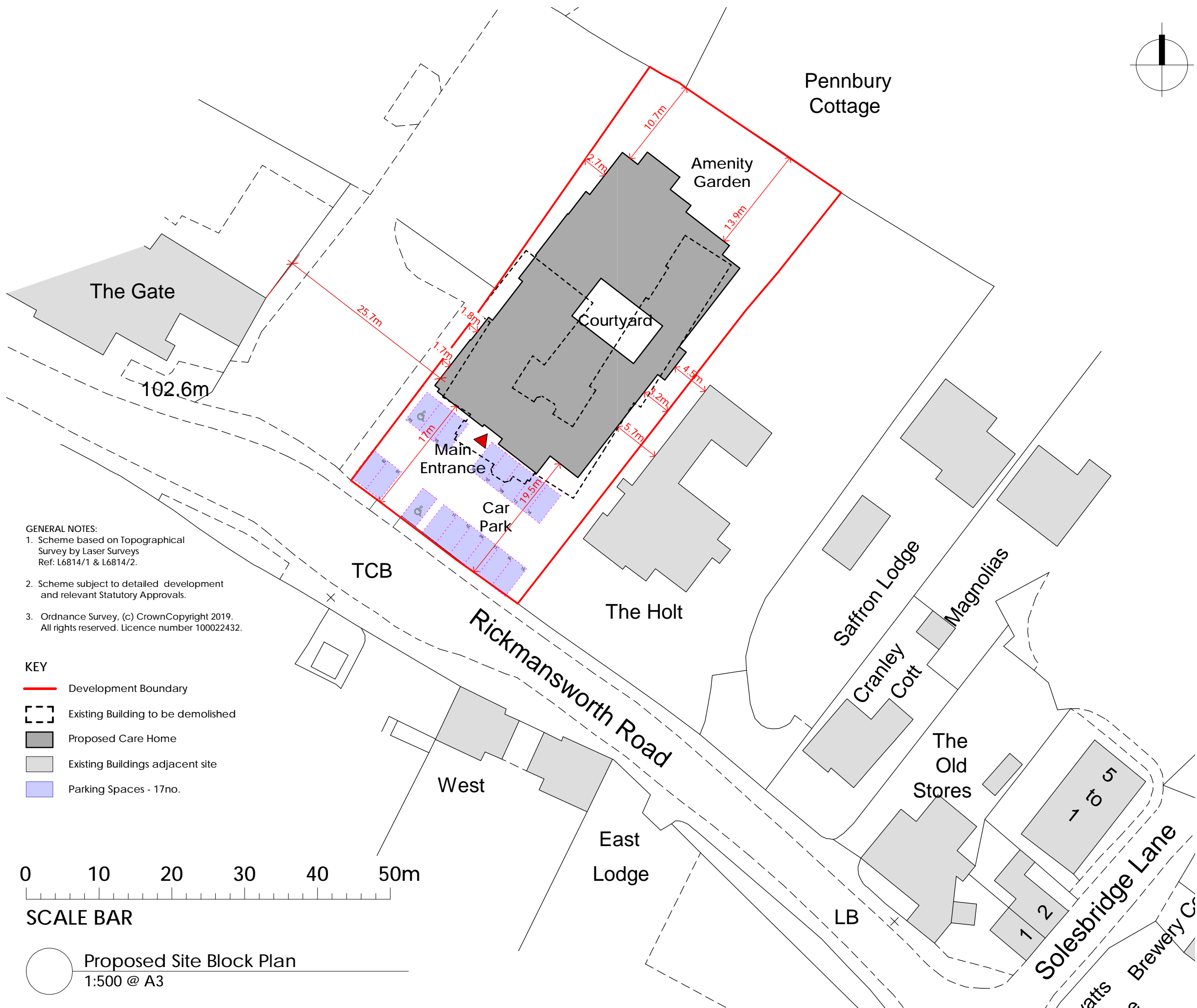
SCALE drawn by date
1:1250@A3 Promap Jul 19

DRAWING NO. revision
19-092-100 ©

Site Location Plan
1:1250 @ A3



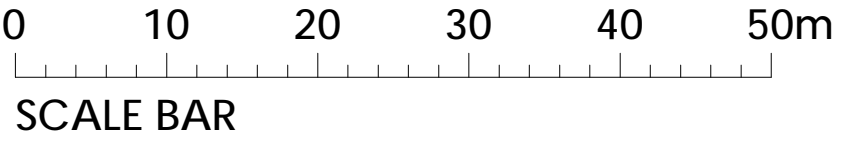
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GENERAL NOTES:

- Scheme based on Topographical Survey by Laser Surveys Ref: L6814/1 & L6814/2.
- Scheme subject to detailed development and relevant Statutory Approvals.
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- KEY**
- Development Boundary
 - Existing Building to be demolished
 - Proposed Care Home
 - Existing Buildings adjacent site
 - Parking Spaces - 17no.



Proposed Site Block Plan
1:500 @ A3

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Planning Condition No.2 Variation - March 2020

Planning Condition No.2 Variation - 07-10-2019

- Ⓐ Proposed building footprint updated. 07-10-2019 / SAJ
- ⊕ First issue Aug 2019 / SAJ

REVISION DETAILS date / by

- Preliminary
- For Approval
- Tender
- Construction

CLIENT
Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood WD3 5SQ

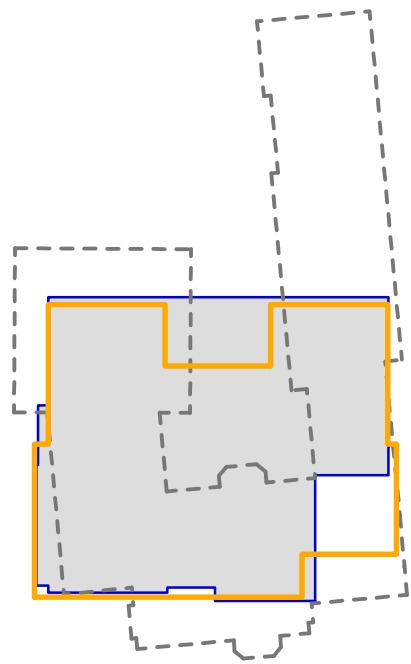
DRAWING TITLE
Proposed Site Block Plan

SCALE drawn by date
1:500@A3 Promap Aug 19

DRAWING NO. revision
19-092-101 Ⓐ



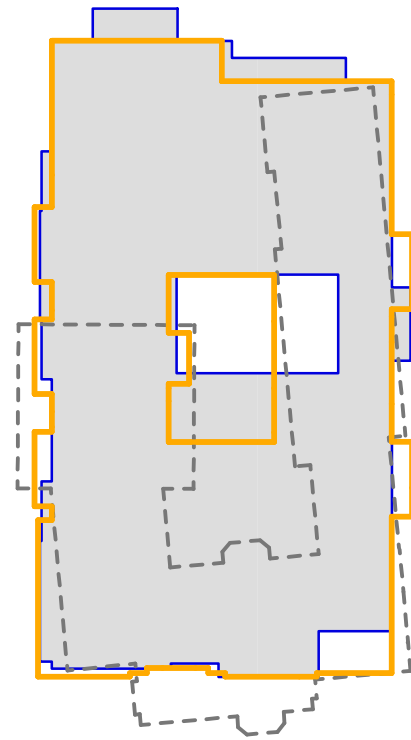
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Basement Plan
Scale 1:500 @ A3

ALEXANDER SEDGLEY PROPOSAL
<i>ref. approved drawing 694 GA-01 PL5</i>
Basement Gross Footprint @ 404 m ² / 4,343 ft ²
NOTE Illustrated building footprint as per Planning Approval 16/1218/FUL

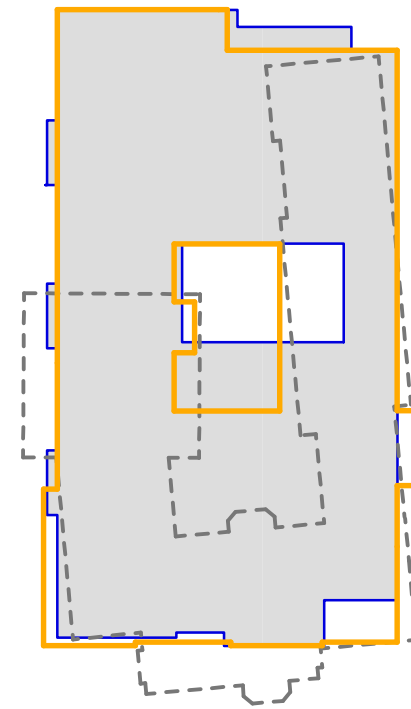
CLA DESIGN PROPOSAL - 19-092-120F
BASEMENT FLOOR GROSS FOOTPRINT @ 413 m ² / 4,445 ft ²



Ground Floor Plan
Scale 1:500 @ A3

ALEXANDER SEDGLEY PROPOSAL
<i>ref. approved drawing 694 GA-02 PL6</i>
Ground Floor Gross Footprint @ 878 m ² / 9,454 ft ²
NOTE Illustrated building footprint as per Planning Approval 16/1218/FUL

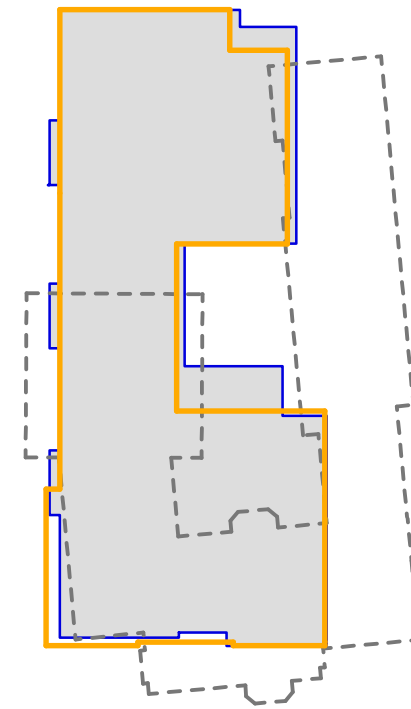
CLA DESIGN PROPOSAL - 19-092-121H
GROUND FLOOR GROSS FOOTPRINT @ 875 m ² / 9,442 ft ²



First Floor Plan
Scale 1:500 @ A3

ALEXANDER SEDGLEY PROPOSAL
<i>ref. approved drawing 694 GA-03 PL6</i>
First Floor Gross Footprint @ 856 m ² / 9,217 ft ²
NOTE Illustrated building footprint as per Planning Approval 16/1218/FUL

CLA DESIGN PROPOSAL - 19-092-122D
FIRST FLOOR GROSS FOOTPRINT @ 846 m ² / 9,107 ft ²



Second Floor Plan
Scale 1:500 @ A3

ALEXANDER SEDGLEY PROPOSAL
<i>ref. approved drawing 694 GA-04 PL6</i>
Second Floor Gross Footprint @ 588 m ² / 6,334 ft ²
NOTE Illustrated building footprint as per Planning Approval 16/1218/FUL

CLA DESIGN PROPOSAL - 19-092-123E
SECOND FLOOR GROSS FOOTPRINT @ 622 m ² / 6,701 ft ²

	ALEXANDER SEDGLEY PROPOSALS	CLA PROPOSALS
Basement	404 m ² / 4,343 ft ²	413 m ² / 4,445 ft ²
Ground	878 m ² / 9,454 ft ²	875 m ² / 9,422 ft ²
First	856 m ² / 9,217 ft ²	846 m ² / 9,107 ft ²
Second	588 m ² / 6,334 ft ²	622 m ² / 6,701 ft ²
TOTAL	2,726 m² / 29,348 ft²	2,756 m² / 29,675 ft²

Planning Condition No.2 Variation - March 2020

NOTE: The GROSS FOOTPRINT on CLA proposals are 30 m² / 322 ft² larger than Alexander Sedgley proposals.

SCALE 1:500@A3

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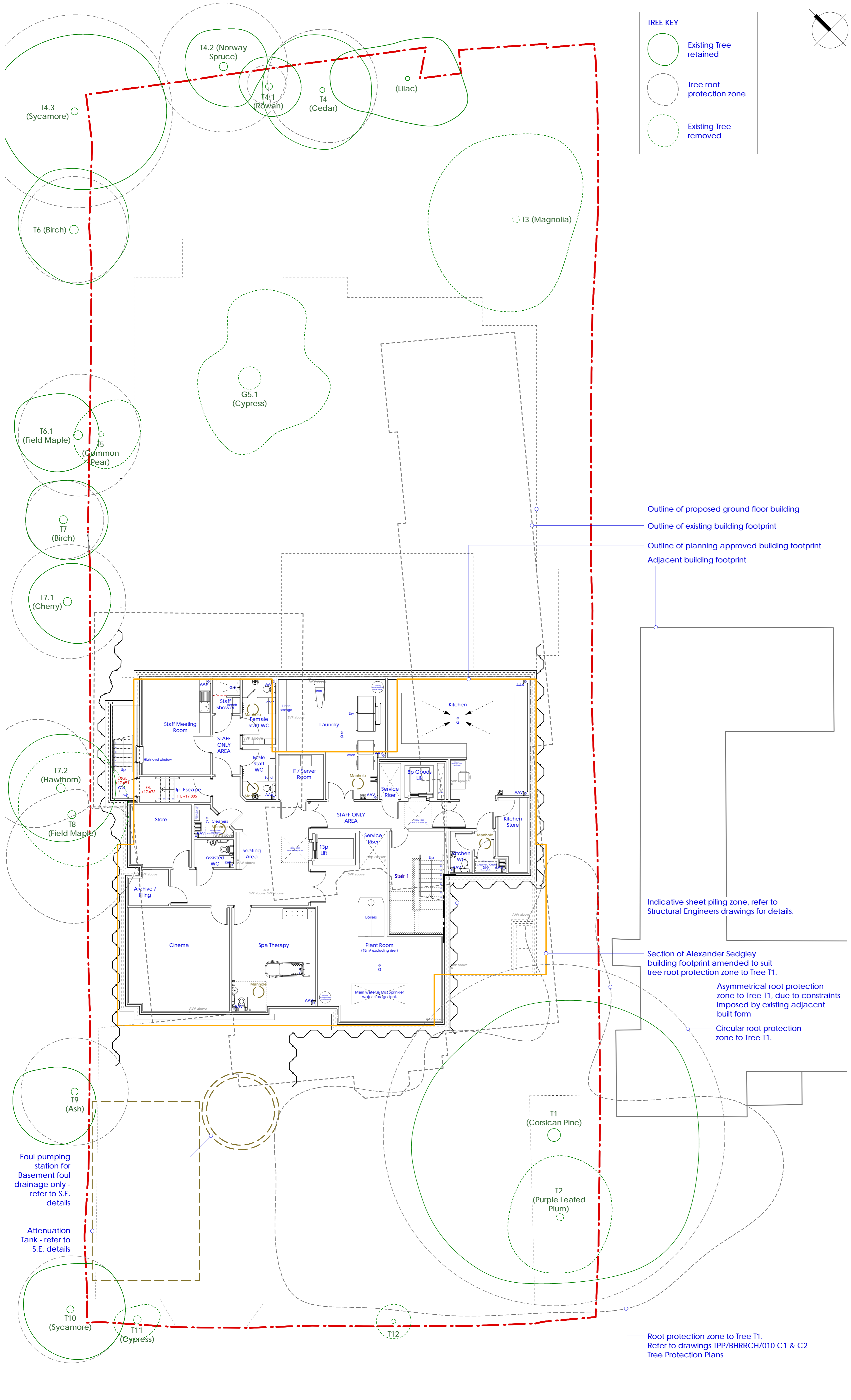
CLIENT: Westgate Healthcare Group Limited
PROJECT: Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ
DRWG TITLE: GROSS FOOTPRINT AREA ANALYSIS

- Preliminary
- For Approval
- Tender
- Construction

Job No. **19-092** **D7.1B**

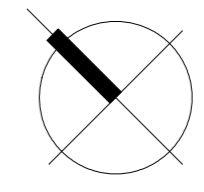
B CLA drawing references updated.

26-03-2020



TREE KEY

- Existing Tree retained
- Tree root protection zone
- Existing Tree removed



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 - BS EN 12620:2002: Properties of aggregates used in mortar;
 - BS EN 12620:2002: Properties of lightweight aggregates;
 - g) 'Guidance on avoiding alkali-silica reaction and mitigation on alkali content in BS EN 12620:2002 & Concrete Society Technical Report 40 (1999)';
 - h) blast, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
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 - j) calcium silicate bricks or tiles;
 - k) vermiculite unless it is established as being Bio-free: calcium silicate bricks or tiles;
 - l) any products containing cadmium referred to in Statutory Instrument 12304/2011;
 - m) Controls on dangerous substances and preparations Regulations 2002. Reference should also be made to 195 EDC/311 Cadmium and lead;
 - n) any new timber treated with pentachlorophenol;
 - o) non galvanized mild steel structural fixings for building elements particularly susceptible to erosion;
 - p) concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - q) materials containing chlorofluorocarbons (CFC's);
 - r) solvent based paints except where water based paints are unavailable for use;
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NOTE:
Mapping of trees and root protection area based on DCCLA drawings, TPP/BHRRCH/010/D1 & D2

ALEXANDER SEDGLEY PROPOSAL

ref. approved drawing 694 GA-01 PL5

Basement Gross Footprint
@ 404 m² / 4,343 ft²

NOTE
Illustrated building footprint as per Planning Approval 16/1218/FUL

CLA DESIGN PROPOSAL

BASEMENT FLOOR GROSS FOOTPRINT
@ 413 m² / 4,445 ft²

- Outline of proposed ground floor building
- Outline of existing building footprint
- Outline of planning approved building footprint
- Adjacent building footprint

Indicative sheet piling zone, refer to Structural Engineers drawings for details.

Section of Alexander Sedgley building footprint amended to suit tree root protection zone to Tree T1.

Asymmetrical root protection zone to Tree T1, due to constraints imposed by existing adjacent built form

Circular root protection zone to Tree T1.

Root protection zone to Tree T1. Refer to drawings TPP/BHRRCH/010 C1 & C2 Tree Protection Plans

Planning Condition No.2 Variation - March 2020

- G Root protection added 26-03-2020 / SAJ to Tree T4.1. Internal waterproofing sump pumps added. Stair 3 wall updated. Ground floor SVP points added for cleaners Store, Cafe & Assisted WC.
- F Lift shaft sizes revised. 17-03-2020 / SAJ Sheet piling indicated. Attenuation Tank & Basement foul drainage pumping station added. Tree canopy shapes revised to suit DCCLA information. Tree Key added.
- E Trees updated to suit 21-02-2020 / SAJ Tree Protection Plans TPP/BHRRCH/010 C1 & C2. Drainage gully added to bottom of escape stairs.
- D Proposed finished floor levels added to escape stair. Tree T8 omitted. 17-01-2020 / SAJ
- C Outline of Alexander Sedgley proposals adjacent root protection zone to Tree T1 amended in line with JPG drawing 5593-JPG-XX-ZZ-M2-S-2241-P04 Sheet Piling GA. 16-12-2019 / SAJ
- B Root protection zone to Tree T1 added. 27-11-2019 / SAJ

Planning Condition No.2 Variation 07-10-2019

- A Revised following recent design correspondence. 07-10-2019 / SAJ
- C First issue. 09-08-2019 / SAJ

REVISION DETAILS

NO.	DESCRIPTION	DATE	BY
1	Preliminary		
2	For Approval		
3	Tender		
4	Construction		

CLIENT
Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE
Proposed Basement Floor Plan

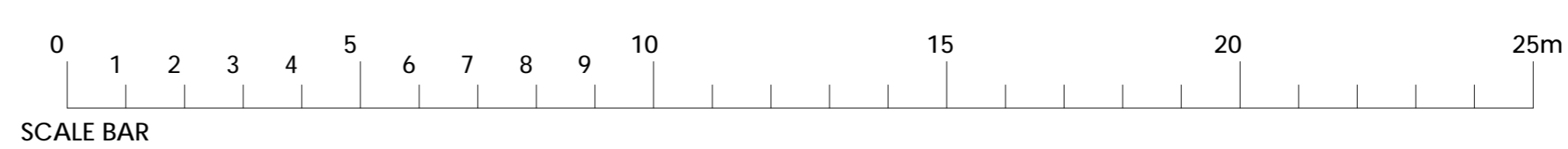
SCALE 1:100@A1
drawn by SAJ/LS
date Aug 2019

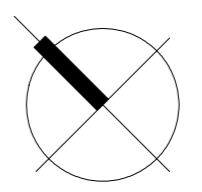
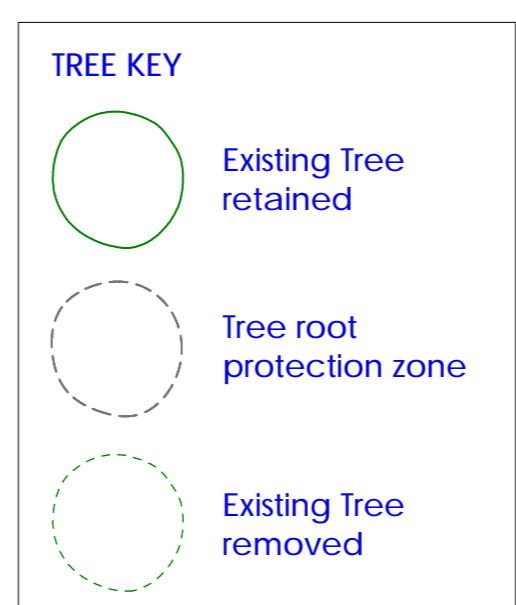
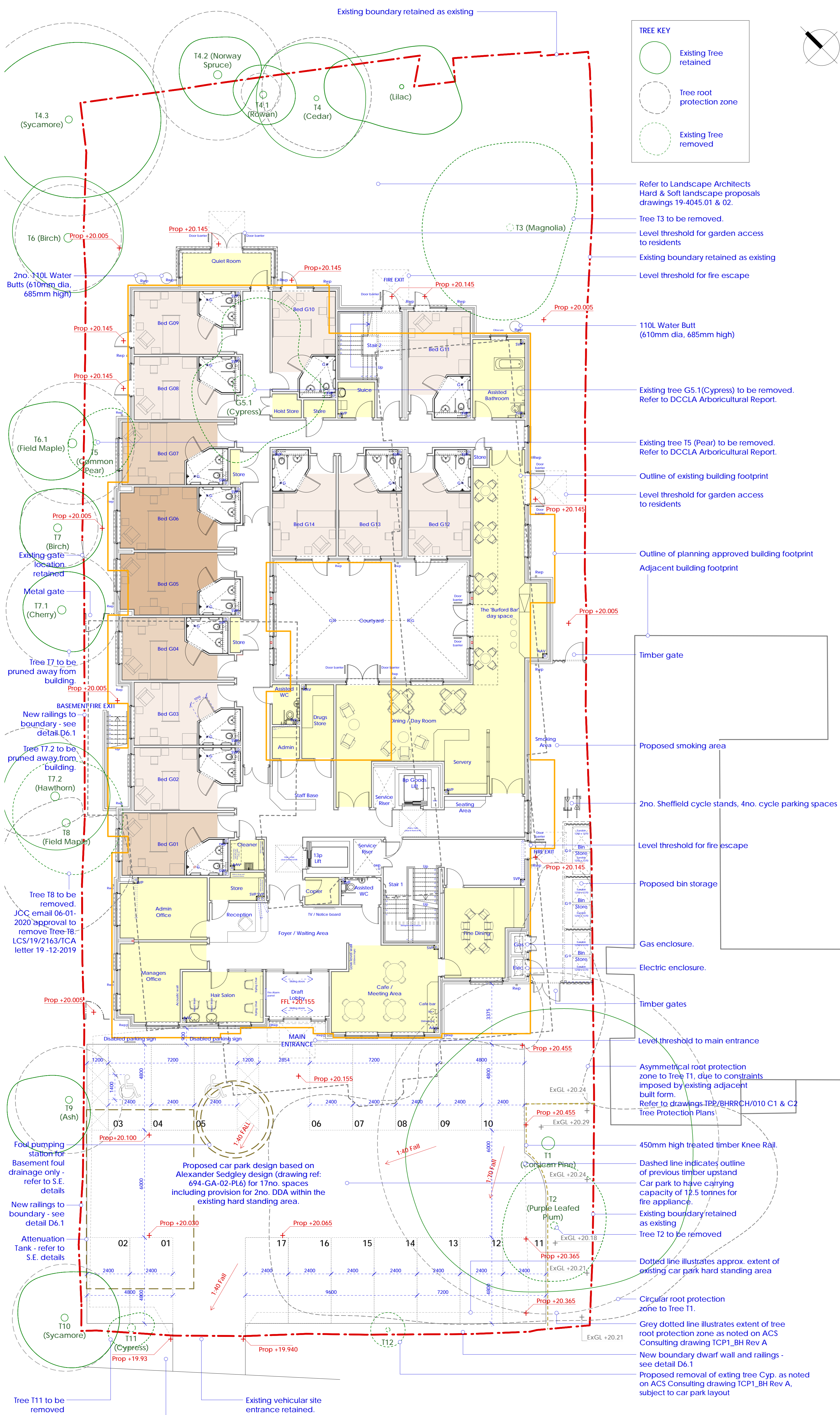
DRAWING NO. 19-092-120
revision G



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Proposed Basement Floor Plan
1:100 @ A1





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 - BS EN 12139:2002, Properties of aggregates used in mortar;
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 - concrete used in circumstances where it is susceptible to alkali-silica reaction materials containing chlorofluorocarbons (CFC's);
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NOTE:
Mapping of trees and root protection area based on DCCLA drawings, TPP/BHRRCH/010/D1 & D2

ALEXANDER SEDGLEY PROPOSAL
ref. approved drawing 694 GA-02 PL6

15no. Ground Floor Units

Ground Floor Gross Footprint @ 878 m² / 9,454 ft²

NOTE
Illustrated building footprint as per Planning Approval 16/1218/FUL

CLA DESIGN PROPOSAL

9no. 1beds
GIFA @ 14.35 m² / 154 ft²

3no. 1beds
GIFA @ 15.3 m² / 164 ft²

2no. 1beds
GIFA @ 16.8 m² / 180 ft²

14no. GROUND FLOOR UNITS
GROUND FLOOR GROSS FOOTPRINT @ 875 m² / 9,442 ft²

- R Car park amended in response to Landscape Officer comments. 14-05-2020 / SAJ
- P Knee rail added around Tree T1. Existing levels added adjacent Tree T1. 01-05-2020 / SAJ
- N Disabled parking bay repositioned from bay 12 to bay 5. 22-04-2020 / SAJ
- M Assisted Bath revised to omit hoist. Floor gullies omitted to Assisted Bath, Sluice & Cleaners Store. Cavity wall to back of Goods Lift revised. Small dishwasher & sink added to Cafe. Door to Fine Dining revised. SVP to Bed F18 moved. Fine Dining AAV omitted. 08-04-2020 / SAJ
- L Additional dimensions added to Car Park. Disabled parking hatching and signs added. 01-04-2020 / SAJ

- Planning Condition No.2 Variation - March 2020**
- K Assisted WC handed over to Cleaners Store, Fine Dining & Cafe. 3no. Water butts added. 26-03-2020 / SAJ
 - J AC enclosure / Condensers adjacent to the Holt boundary repositioned on roof. Root protection added to Tree T1. Hard & Soft landscape note added. 19-03-2020 / SAJ
 - H Lift shaft sizes revised. Tree canopy shapes revised to suit DCCLA information. Tree Key added. Double doors to Gas cupboard. Attenuation Tank & Basement foul drainage pumping station added to car park. 17-03-2020 / SAJ
 - G Trees updated to suit Tree Protection Plans TPP/BHRRCH/010 C1 & C2. Drainage gullies added to courtyard. 21-02-2020 / SAJ
 - F Tree T8 removed. Car park dimensions added. Minor note amendments. Additional external levels added. Car park dimensions added. 17-01-2020 / SAJ
 - E T8 shown as retained. 19-12-2019 / pjw

REVISION DETAILS

NO.	DESCRIPTION	DATE	BY
01	Preliminary		
02	For Approval		
03	Tender		
04	Construction		

Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE
Proposed Ground Floor Plan

SCALE 1:100 @ A1
DRAWN BY SAJ/LS
DATE August 2019
DRAWING NO. 19-092-121
REVISION

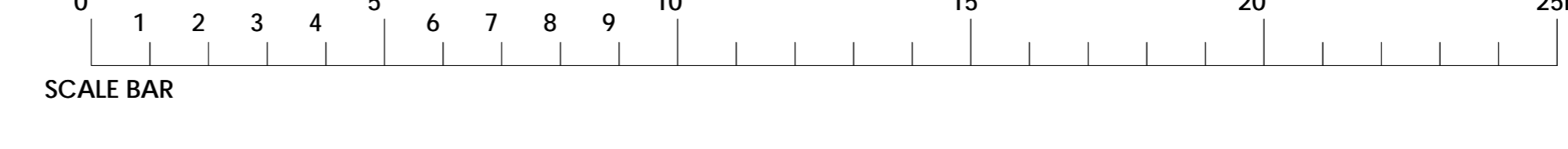
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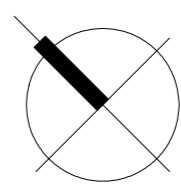
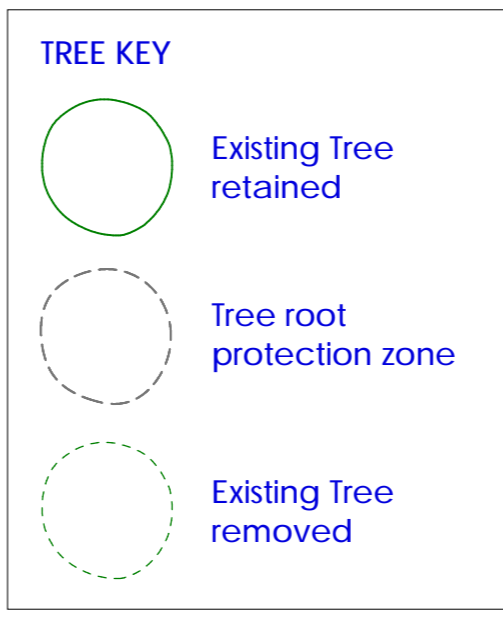
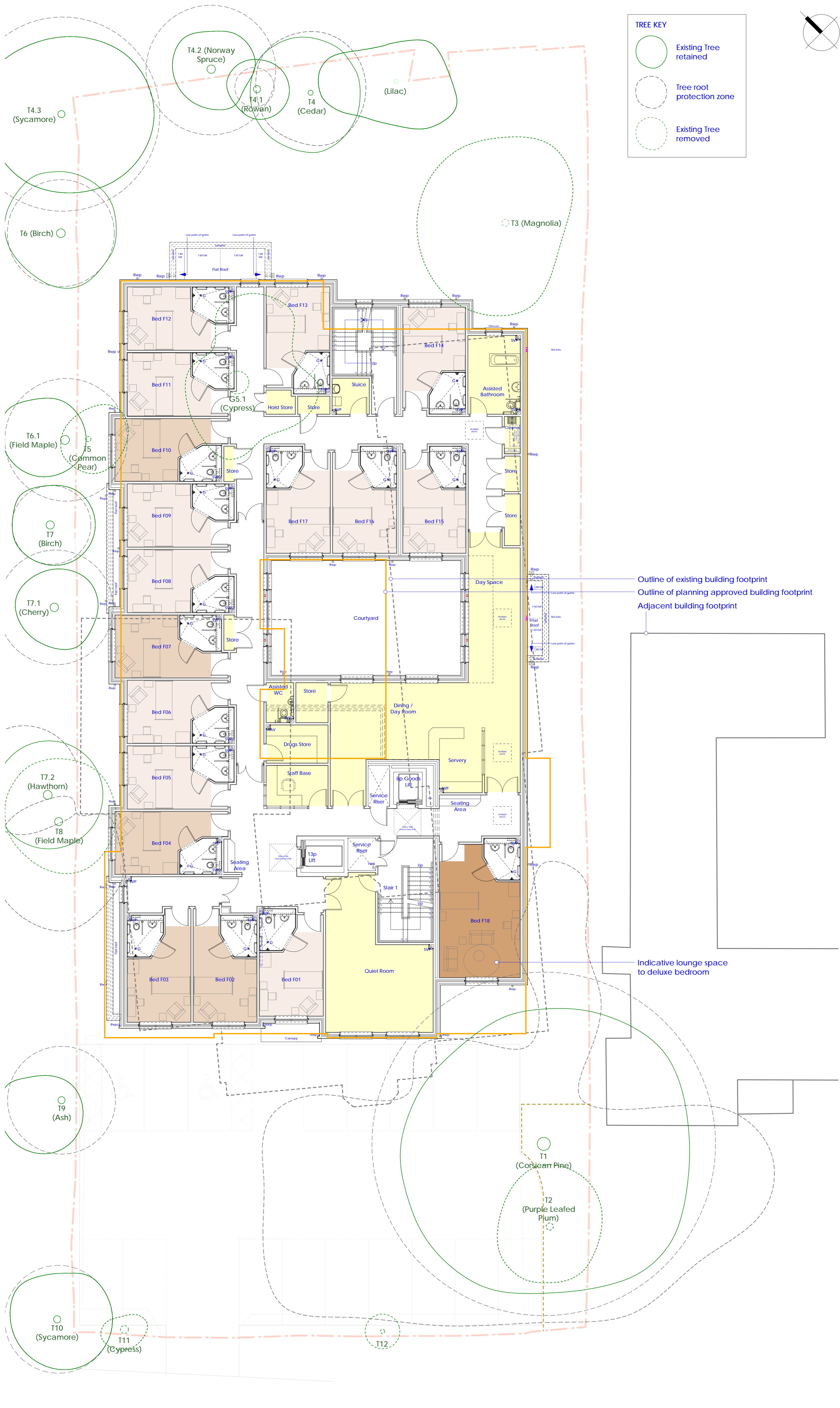


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Proposed Ground Floor Plan
1:100 @ A1

Existing vehicular site entrance retained. Site min. width 3.6m between kerbs for fire appliance access. No proposed works to existing dropped kerbs (applies to both sides of access).





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NOTE:
Mapping of trees and root protection area based on DCCLA drawings, TPP/BHRRCH/010/D1 & D2

ALEXANDER SEDGLEY PROPOSAL
ref. approved drawing 69A-03-PL6

20no. First Floor Units

First Floor Gross Footprint @ 856 m² / 9,217 ft²

NOTE
Illustrated building footprint as per Planning Approval 16/1218/FUL

CLA DESIGN PROPOSAL

12no. 1beds
GIFA @ 14.35 m² / 154 ft²

5no. 1beds
GIFA @ 15.3 m² / 164 ft²

1no. 1beds
GIFA @ 27.9 m² / 300 ft²

18no. FIRST FLOOR UNITS

FIRST FLOOR GROSS FOOTPRINT @ 846 m² / 9,107 ft²

- H) Car park amended in response to Landscape Officer comments. 14-05-2020 / SAJ
- G) Car park revised to suit 29-04-2020 / SAJ 19-092-121N.
- F) Assisted Bath revised to omit hoist. Floor gullies omitted to Assisted Bath, Sluice & Cleaners Store. Cavity wall to back of Goods Lift revised. Bed F18 enlarged, lounge space added suite repositioned. Stores adjacent Bed F18 omitted.

- Planning Condition No.2 Variation - March 2020**
- E) Root protection added to Tree T4.1. Doors revised to Quiet Room. Assisted WC handed. Store adjacent Bed F18 revised. 26-03-2020 / SAJ
 - D) Lift shaft sizes revised. Existing Trees added. Tree Key added. 17-03-2020 / SAJ
 - C) Store adjacent Bedroom F15 increased size. Boxing added to cross corridor door adjacent Bedroom F02. 27-11-2019 / SAJ

- Planning Condition No.2 Variation 07-10-2019**
- B) Revised following recent design correspondence. 07-10-2019 / SAJ
 - A) RWP locations to courtyard revised. 09-08-2019 / SAJ

First Issue. 09-08-2019 / SAJ

REVISION DETAILS date / by

- Preliminary
- For Approval
- Tender
- Construction

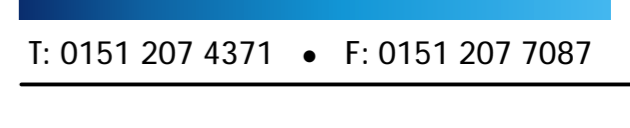
CLIENT
Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE
Proposed First Floor Plan

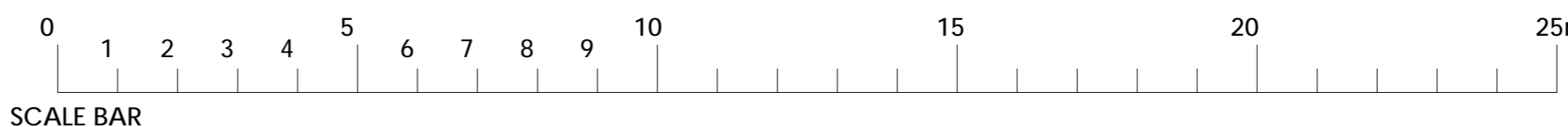
SCALE drawn by: CLM
1:100@A1 SAJ/LS Aug 2019

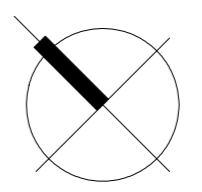
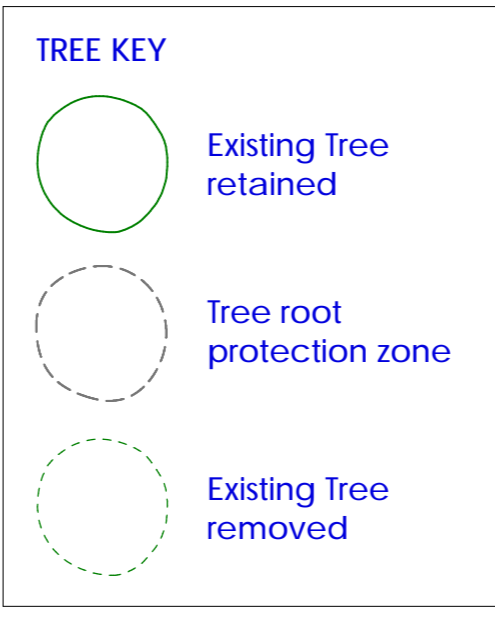
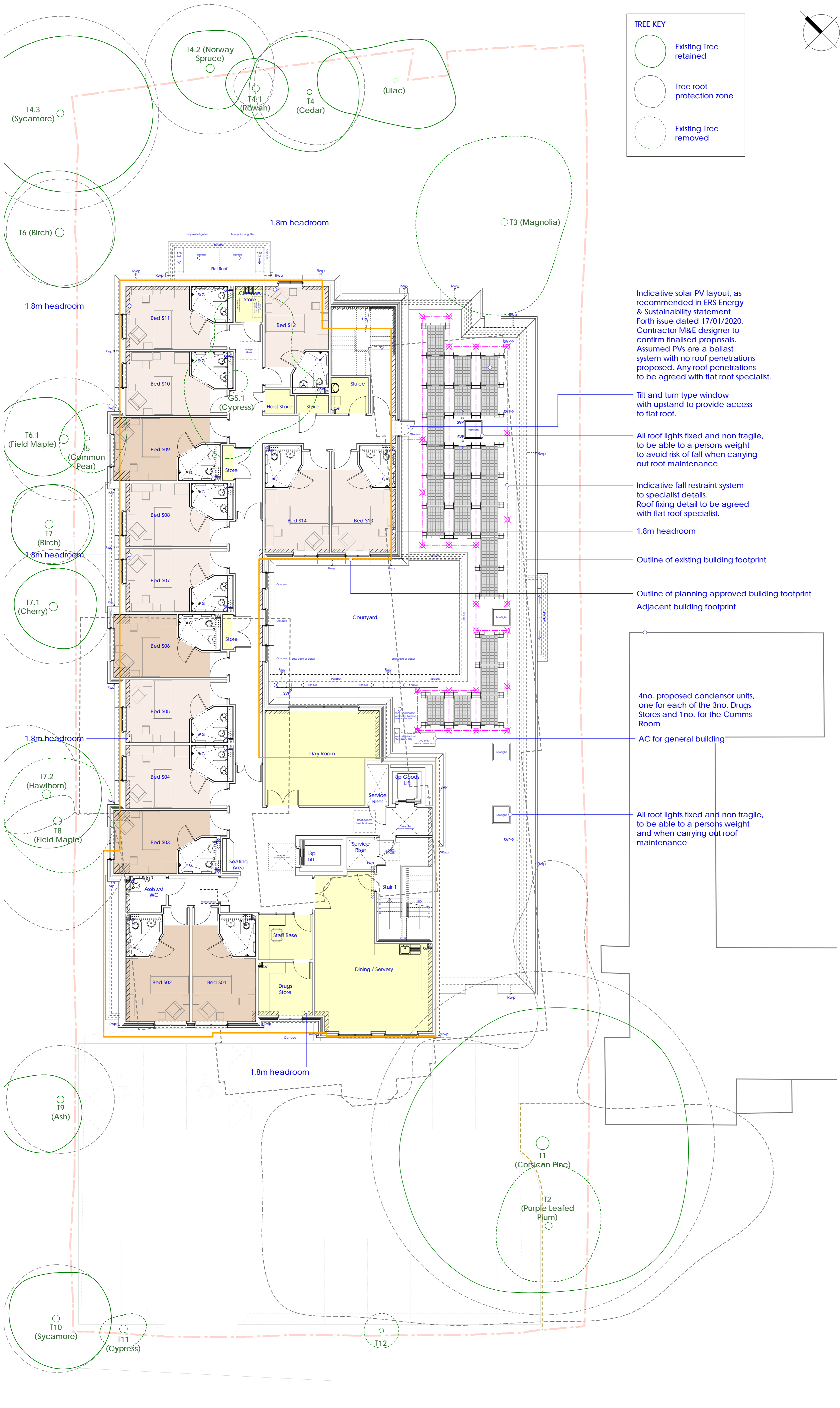
DRAWING NO. revision
19-092-122 (H)



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Proposed First Floor Plan
1:100 @ A1





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 - calcium chloride admixtures for use in reinforced concrete;
 - asbestos or asbestos-containing products, as defined in the 'Control of Asbestos at Work Regulations, as amended 2012' or any other statutory modification or re-enactment thereof;
 - any naturally occurring or man-made mineral fibres (for example, rock wool or slag wool) with a thickness of 3 microns or less and a length of 200 microns or less, unless they are appropriately sealed to prevent migration of fibres;
 - aggregates for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002, properties of aggregates used in concrete;
 - BS EN 12139:2002, Properties of aggregates used in mortar;
 - BS EN 12055 (Parts 1 & 2), properties of lightweight aggregates.
 *Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 330 (2004) & 'Concrete Society Technical Report 30 (1999)'.
 - lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
 - urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive:
 - calcium silicate bricks or tiles;
 - vermiculite unless it is established as being fibre-free: calcium silicate bricks or tiles;
 - any products containing cadmium referred to in Statutory Instrument 'S 2004/3111 Control on dangerous substances and preparations Regulations 2004'. Reference should also be made to 'HSE DGE311 Cadmium and you';
 - any new timber treated with pentachlorophenol;
 - non-galvanised mild steel structural flange for building elements particularly susceptible to weather;
 - concrete used in circumstances where it is susceptible to alkali-silica reaction materials containing chlorosulphonates (CSCs);
 - solvent based paints except where water based paints are unsuitable: for unavailability; any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.

NOTE:
Mapping of trees and root protection area based on DCCLA drawings, TPP/BHRRCH/010/D1 & D2

ALEXANDER SEDGLEY PROPOSAL
ref. approved drawing 694 GA-04 PL6

11no. Second Floor Units

Second Floor Gross Footprint @ 588 m² / 6,334 ft²

NOTE
Illustrated building footprint as per Planning Approval 16/1218/FUL

CLA DESIGN PROPOSAL

9no. 1beds
GIFA @ 14.35 m² / 154 ft²

5no. 1beds
GIFA @ 15.3 m² / 164 ft²

14no. SECOND FLOOR UNITS
SECOND FLOOR GROSS FOOTPRINT @ 622 m² / 6,701 ft²

Indicative solar PV layout, as recommended in ERS Energy & Sustainability statement Forth issue dated 17/01/2020. Contractor M&E designer to confirm finalised proposals. Assumed PVs are a ballast system with no roof penetrations proposed. Any roof penetrations to be agreed with flat roof specialist.

Tilt and turn type window with upstand to provide access to flat roof.

All roof lights fixed and non fragile, to be able to a persons weight to avoid risk of fall when carrying out roof maintenance

Indicative fall restraint system to specialist details. Roof fixing detail to be agreed with flat roof specialist.

1.8m headroom

Outline of existing building footprint

Outline of planning approved building footprint
Adjacent building footprint

4no. proposed condensor units, one for each of the 3no. Drugs Stores and 1no. for the Comms Room

AC for general building

All roof lights fixed and non fragile, to be able to a persons weight and when carrying out roof maintenance

- J Car park amended in response to Landscape Officer comments. 14-05-2020 / SAJ
 - H Car park revised to suit 29-04-2020 / SAJ 19-092-121N.
 - G Floor gullies omitted to Sluice & Cleaners Store. Cavity wall to back of Goods Lift revised. SVP to Bed F18 moved. 08-04-2020 / SAJ
- Planning Condition No.2 Variation - March 2020**
- F Root protection added to Tree T4.1. AC unit & condensers added to roof. Doors revised to Quiet Room. 26-03-2020 / SAJ
 - E Lift shaft sizes revised. Existing Trees added. Tree Key added. Solar PV and fall restraint notes updated. 17-03-2020 / SAJ
 - D Minor note amendments to solar pv layout. Roof access hatch adjacent goods lift added. 07-01-2020 / SAJ
 - C Solar PV layout and fall restraint system indicated. Boxing added to cross corridor door adjacent Bedroom S01. Roof light note added. 27-11-2019 / SAJ
- Planning Condition No.2 Variation 07-10-2019**
- B Revised following recent design correspondence. 07-10-2019 / SAJ
 - A Parapet added to courtyard roof edge. 09-08-2019 / SAJ
 - First issue. 09-08-2019 / SAJ

REVISION NO.	DATE / BY
0	Preliminary
1	For Approval
2	Tender
3	Construction

CLIENT
Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE
Proposed Second Floor Plan

SCALE
1:100@A1

DATE
SAJ/LS Aug 2019

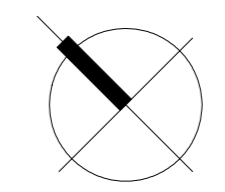
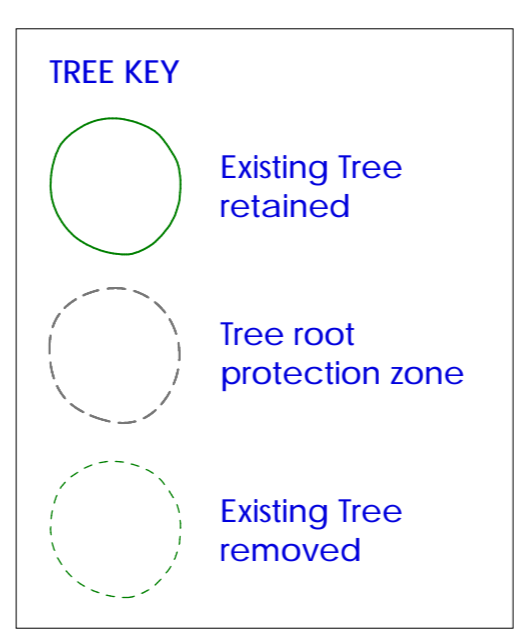
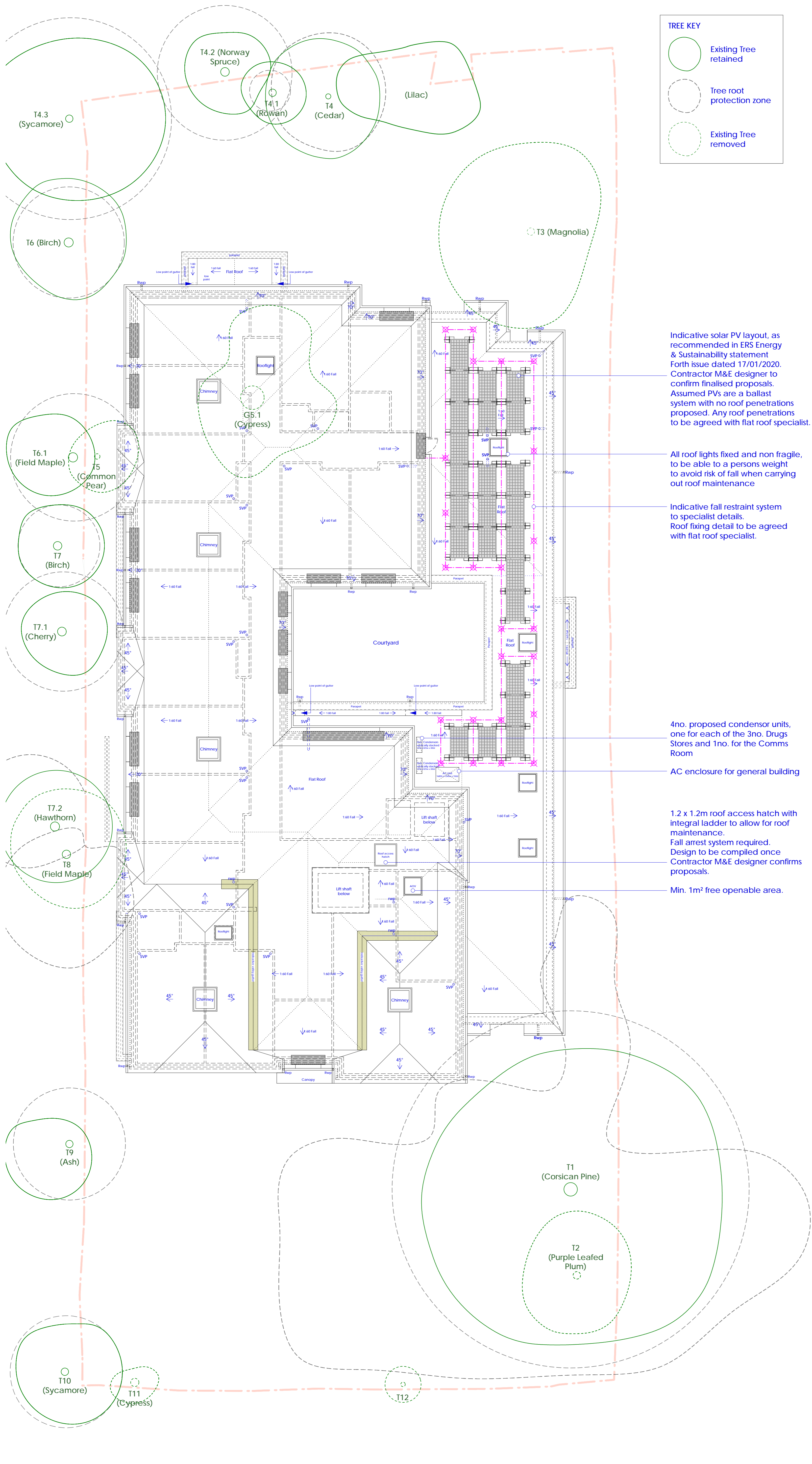
DRAWING NO.
19-092-123

REVISION
J

Proposed Second Floor Plan
1:100 @ A1



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 - aggregates for use in reinforced concrete which do not comply with:
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 - BS EN 12620:2002, properties of aggregates used in mortar;
 - BS EN 12620:2002, properties of lightweight aggregates;
 - 'Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 330 (2004)' & 'Concrete Society Technical Report 30 (1999)';
 - lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
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 - any products containing cadmium referred to in Statutory Instrument '9/2004/3111 Control on dangerous substances and preparations Regulations 2006'. Reference should also be made to 'HSE EDG2/11 Cadmium and you';
 - any new timber treated with pentachlorophenol;
 - non-galvanised mild steel structural fittings for building elements particularly susceptible to weather;
 - concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - materials containing chlorofluorocarbons (CFCs);
 - solvent based paints except where water based paints are unavailable; for unavailability; any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.

NOTE:
Mapping of trees and root protection area based on DCCLA drawings, TPP/BHRRCH/010/D1 & D2

Indicative solar PV layout, as recommended in ERS Energy & Sustainability statement Forth issue dated 17/01/2020. Contractor M&E designer to confirm finalised proposals. Assumed PVs are a ballast system with no roof penetrations proposed. Any roof penetrations to be agreed with flat roof specialist.

All roof lights fixed and non fragile, to be able to a persons weight to avoid risk of fall when carrying out roof maintenance

Indicative fall restraint system to specialist details. Roof fixing detail to be agreed with flat roof specialist.

4no. proposed condenser units, one for each of the 3no. Drugs Stores and 1no. for the Comms Room

AC enclosure for general building

1.2 x 1.2m roof access hatch with integral ladder to allow for roof maintenance. Fall arrest system required. Design to be compiled once Contractor M&E designer confirms proposals.

Min. 1m² free openable area.

Planning Condition No.2 Variation - March 2020

- AC unit & Condensers 26-03-2020 / SAJ added to roof. Root protection added to Tree T4.1.
- Trees added. 17-03-2020 / SAJ Lift shaft sizes revised. Solar PV and fall restraint notes updated.
- Minor note amendments 07-01-2020 / SAJ to solar pv layout. Roof access hatch adjacent goods lift added.
- Solar PV layout and fall 27-11-2019 / SAJ restraint system indicated. Roof light note added.

Planning Condition No.2 Variation 07-10-2019

- Revised following recent 07-10-2019 / SAJ design correspondence.
- Parapet added 09-08-2019 / SAJ to courtyard roof edge.
- First issue. 09-08-2019 / SAJ

REVISION	DATE	BY
● Preliminary		
● For Approval		
○ Tender		
○ Construction		

Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE
Proposed Roof Plan

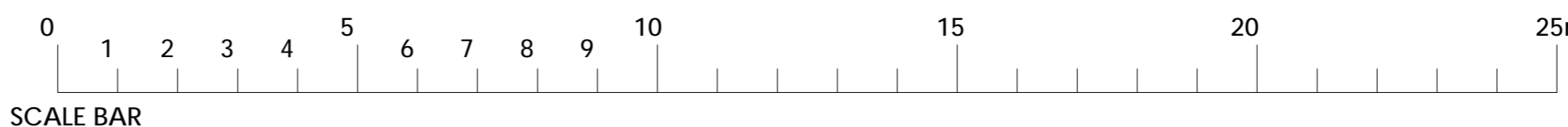
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DRAWING NO. 19-092-124 **REVISION** (F)



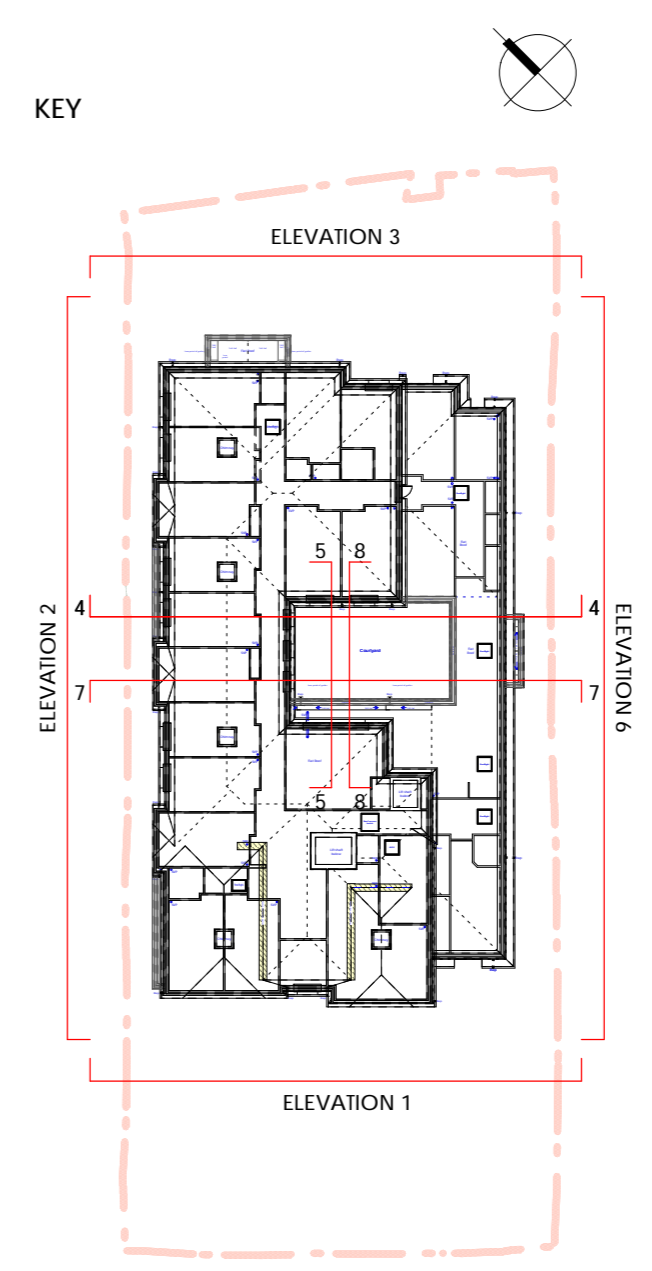
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Proposed Roof Plan 1:100 @ A1





1 Proposed South West Elevation (Front)
1:100 @ A1



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 - f) aggregates for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002, properties of aggregates used in concrete;
 - BS EN 12620:2002, properties of aggregates used in mortar;
 - BS EN 12620:2002 (Parts 1 & 2), properties of lightweight aggregates.
 (Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 330 (2004) & 'Concrete Society Technical Report 30 (1999)')
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 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre-free; calcium silicate bricks or tiles;
 - k) any products containing cadmium referred to in Statutory Instrument 'S 2004/3111 Control on dangerous substances and preparations Regulations 2004'. Reference should also be made to 'HSE EDG291 Cadmium and you';
 - l) any new timber treated with pentachlorophenol;
 - m) non-galvanised mild steel structural fittings for building elements particularly susceptible to corrosion;
 - n) concrete used in circumstances where it is susceptible to alkali-silica reaction materials containing chlorosulphonates (CSCs);
 - o) solvent based paints except where water based paints are unsuitable for unavailability; any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.

ALEXANDER SEDGLEY PROPOSAL

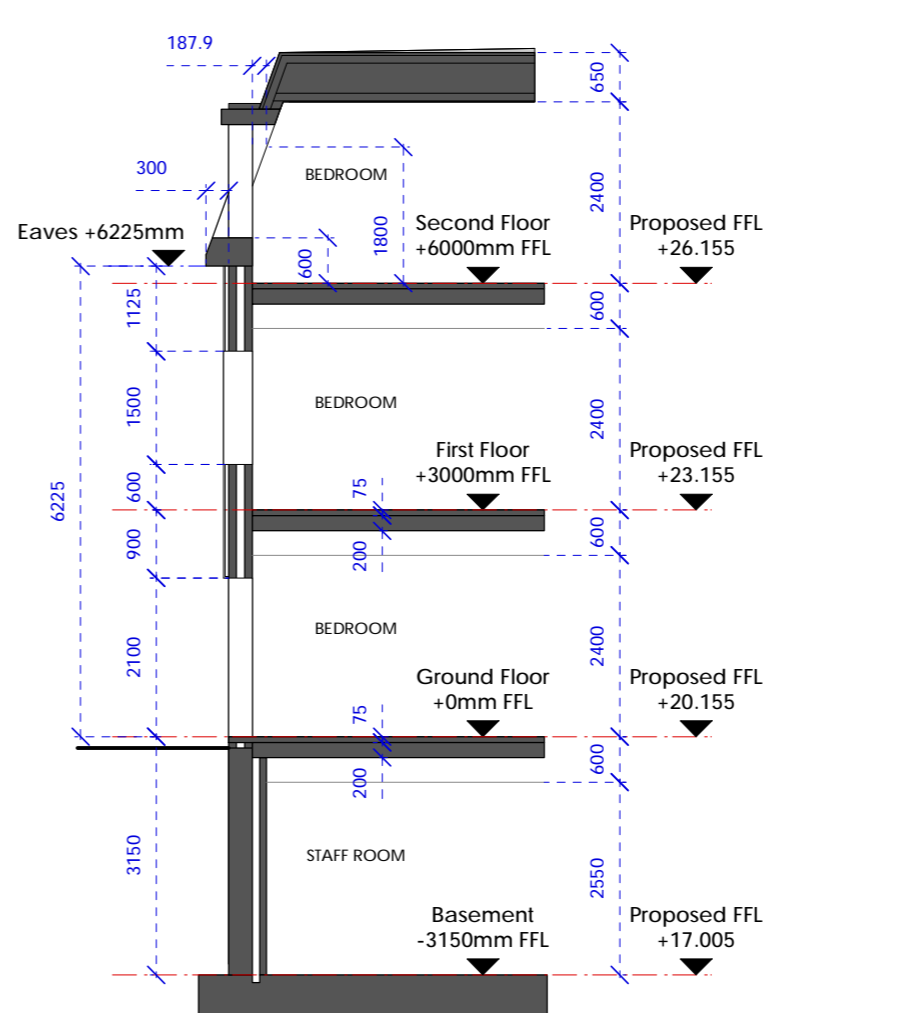
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2 Proposed North West Elevation (Side)
1:100 @ A1



3 Proposed North East Elevation (Rear)
1:100 @ A1



Proposed Typical Building Section
1:100 @ A1

Planning Condition No.2 Variation - March 2020

- Ⓔ 3no. Water Butts added. 26-03-2020 / SAJ
- Ⓕ Minor amendments to 13 person lift shaft. 17-03-2020 / SAJ
- Ⓖ Solar PVs added to Elevations 1 & 3. 17-01-2020 / SAJ

Planning Condition No.2 Variation 18-11-2019

- Ⓑ Colour to rendered areas changed to off-white. Brickwork colour updated. 18-11-2019 / SAJ

Planning Condition No.2 Variation 07-10-2019

- Ⓐ Revised following recent design correspondence. 07-10-2019 / SAJ
- Ⓒ First issue. 09-08-2019 / SAJ

REVISION DETAILS date / by

- Ⓒ Preliminary
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- Tender
- Construction

Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

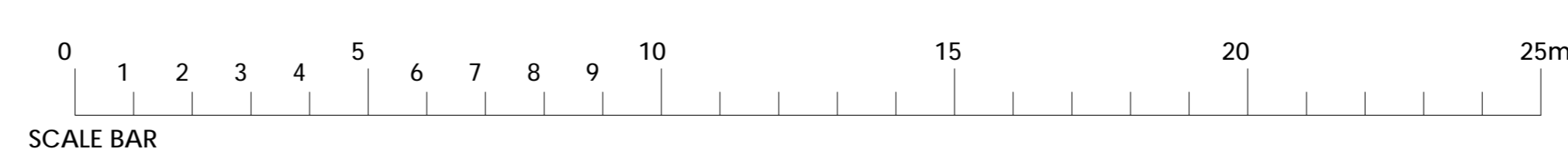
DRAWING TITLE
Proposed Elevations - Sheet 1

SCALE drawn by: CLM
1:100@A1 SAJ/LS Aug 2019

DRAWING NO. 19-092-150
REVISION (E)

NOTE: REFER TO CLA DRAWING 19-092-D7.2 FOR PROPOSED FACING MATERIALS

Proposed Elevations - Sheet 1
1:100 @ A1

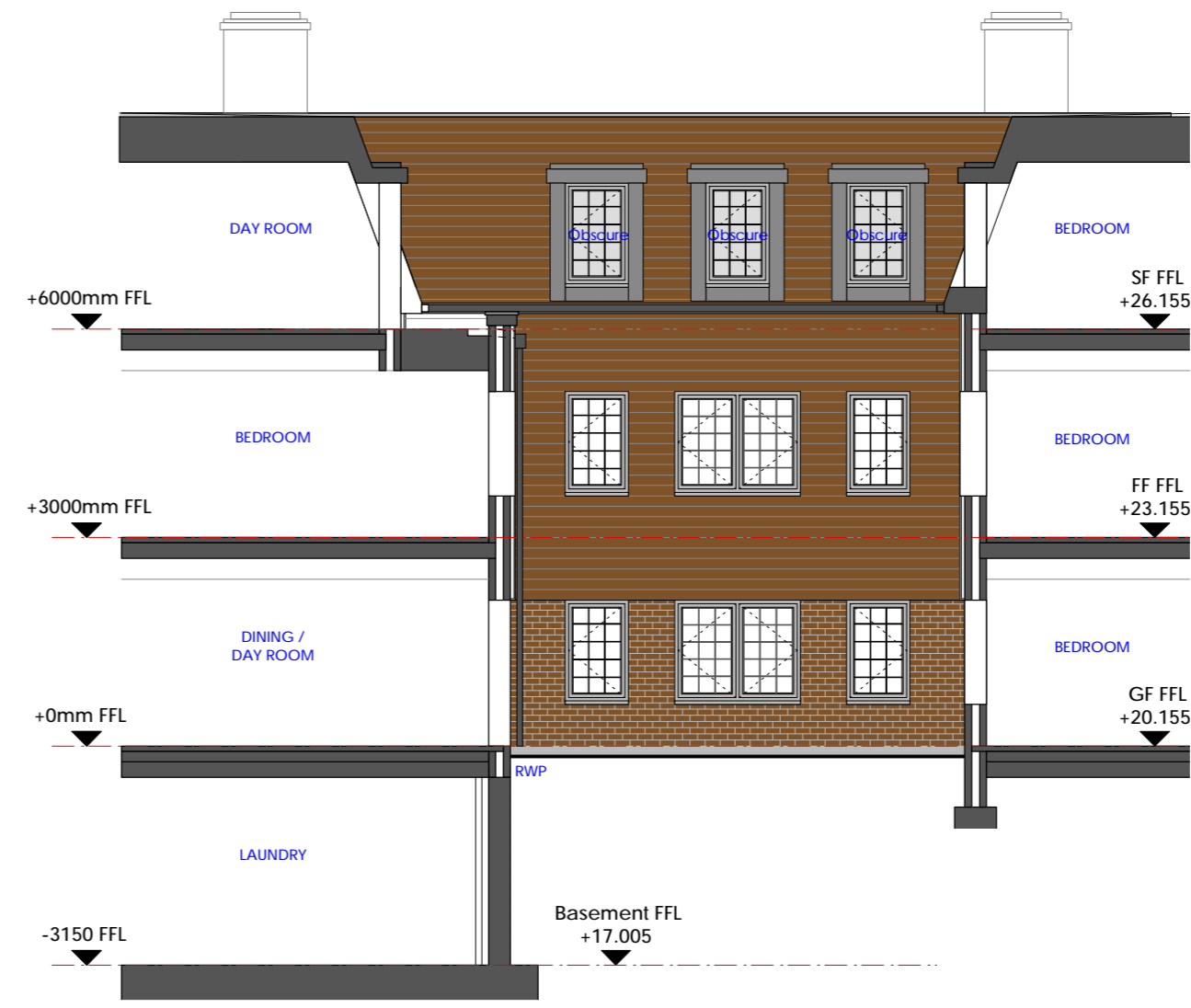


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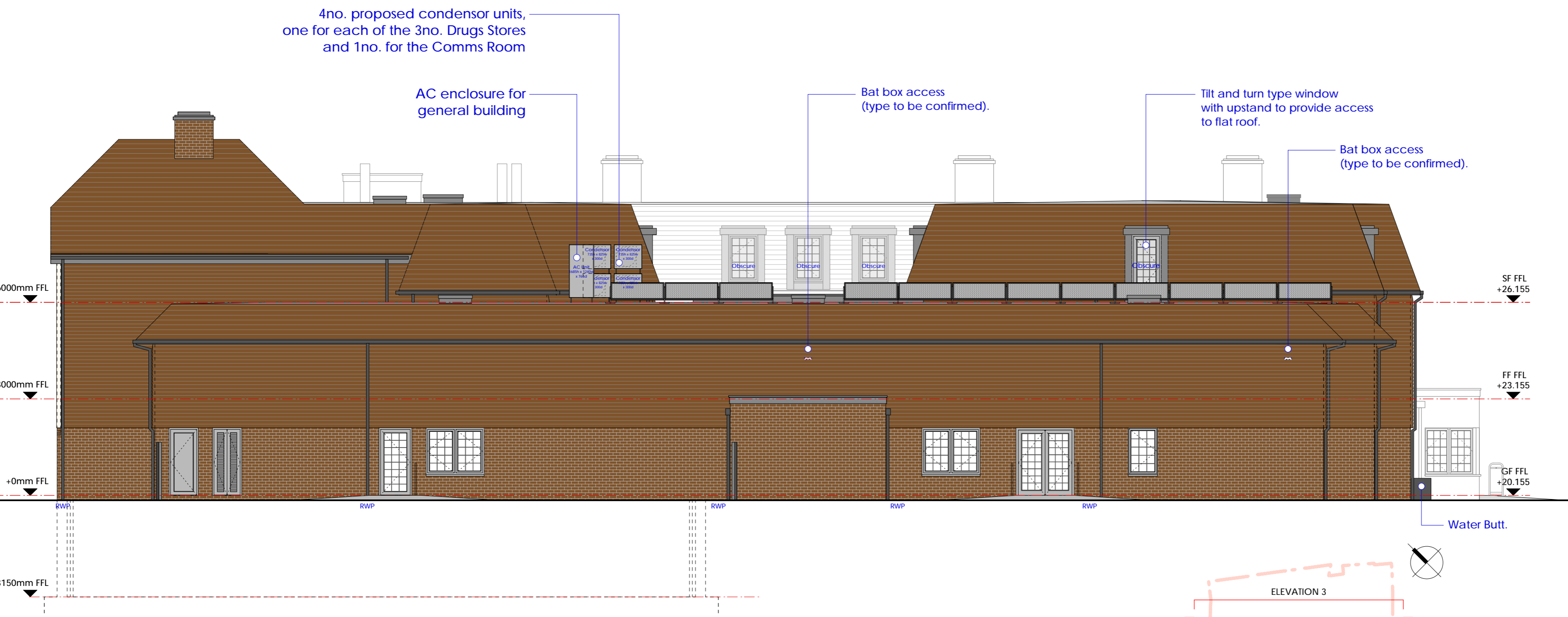
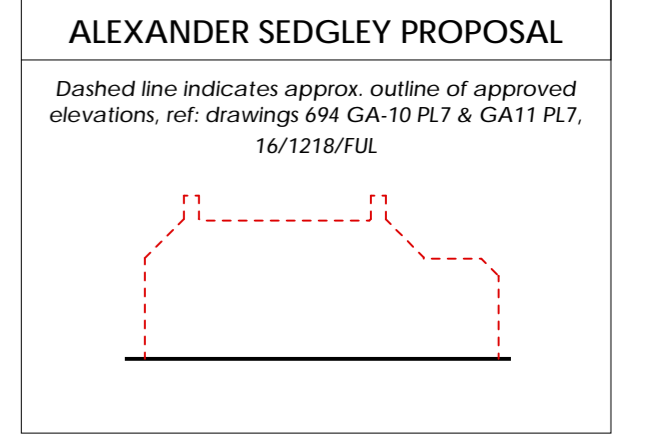


4 Proposed Courtyard Elevation / Section
1:100 @ A1

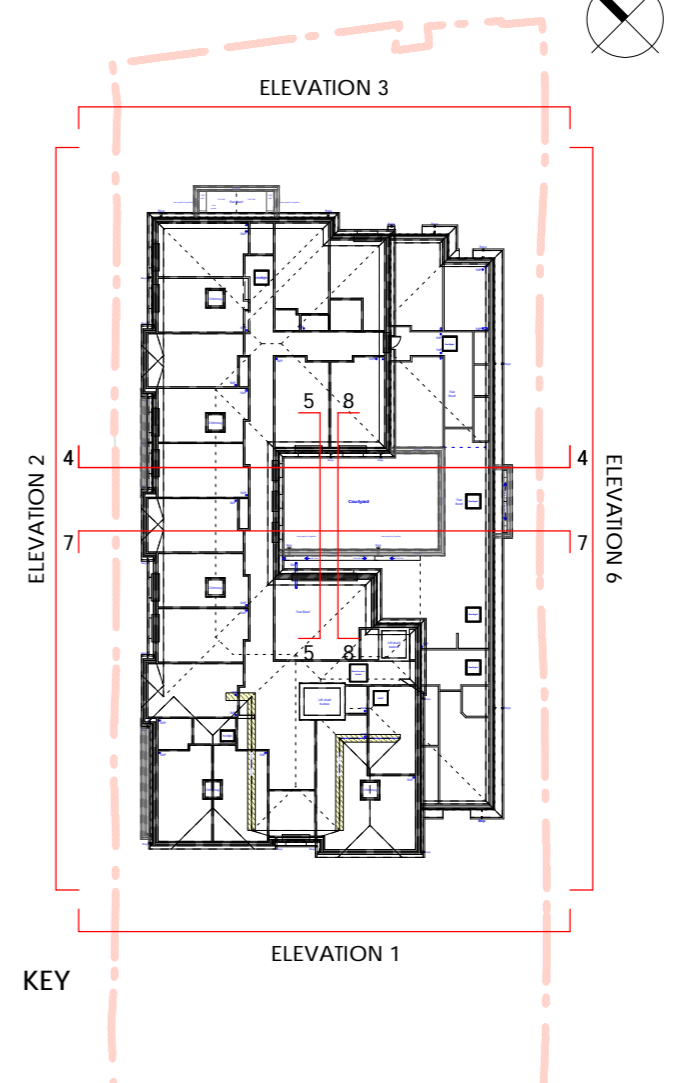


5 Proposed Courtyard Elevation / Section
1:100 @ A1

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 - f) aggregates for use in reinforced concrete which do not comply with:
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 - BS EN 12139:2002, properties of aggregates used in mortar;
 - BS EN 12055 (Parts 1 & 2), properties of lightweight aggregates;
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 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre-free; calcium silicate bricks or tiles;
 - k) any products containing cadmium referred to in Statutory Instrument '9/2004/3111 Control on dangerous substances and preparations Regulations 2004'. Reference should also be made to 'HSE EDG2/11 Cadmium and you';
 - l) any new timber treated with pentachlorophenol;
 - m) non-galvanised mild steel structural fittings for building elements particularly susceptible to corrosion;
 - n) concrete used in circumstances where it is susceptible to alkali-silica reaction materials containing chlorides/sulphates (CFC);
 - o) solvent based paints except where water based paints are unavailable; for unavailability; any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.



6 Proposed South East Elevation (Facing Residential Neighbour)
1:100 @ A1



- Planning Condition No.2 Variation - March 2020**
- Ⓕ Roof access hatch added. 26-03-2020 / SAJ added. Gas & Electric cupboards changed to Aluminium. Water Butt added
 - Ⓖ AC unit & condensers added to roof on south-east elevation. 19-03-2020 / SAJ
 - Ⓓ Note added to roof access EXD17. Bat box access added to South East Elevation. Minor amendments to 13 person lift shaft. Gas cupboard double doors. 17-03-2020 / SAJ
 - Ⓒ Solar PVs added to Elevation 6. 17-01-2020 / SAJ

- Planning Condition No.2 Variation 18-11-2019**
- Ⓑ Colour to rendered areas changed to off-white. Brickwork colour updated. 18-11-2019 / SAJ

- Planning Condition No.2 Variation 07-10-2019**
- Ⓐ Revised following recent design correspondence. 07-10-2019 / SAJ

- REVISION DETAILS** date / by
- Preliminary
 - For Approval
 - Tender
 - Construction

Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

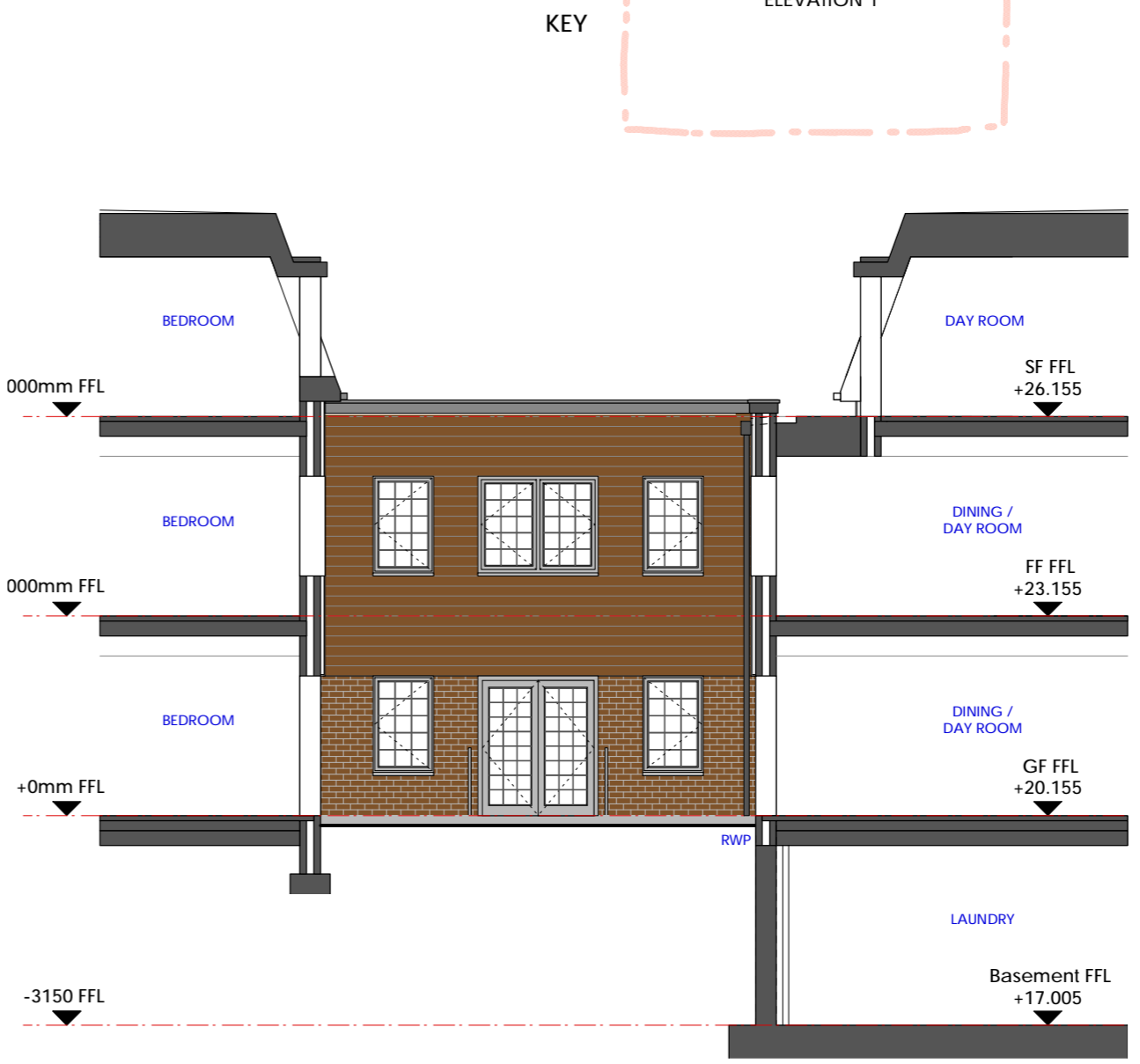
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Proposed Elevations - Sheet 2

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DRAWN BY SAJ/LS
DATE Aug 2019

DRAWING NO. 19-092-151
REVISION (F)



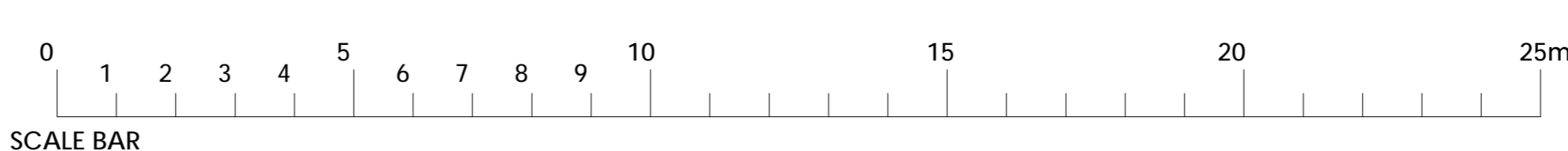
7 Proposed Courtyard Elevation / Section
1:100 @ A1



8 Proposed Courtyard Elevation / Section
1:100 @ A1

NOTE: REFER TO CLA DRAWING 19-092-D7.2 FOR PROPOSED FACING MATERIALS

Proposed Elevations - Sheet 2
1:100 @ A1



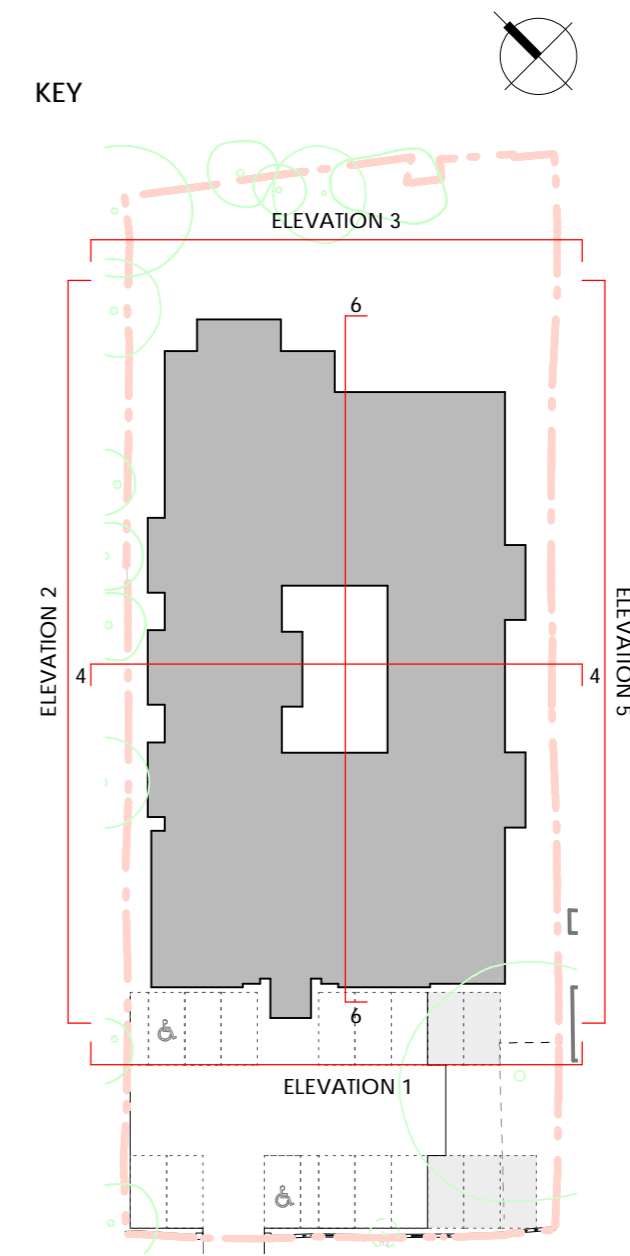
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NOTE:
Elevation based on approved Alexander Sedgley drawing GA-10 PL7

1 Alexandra Sedgley South West Elevation (Front)
1:100 @ A2



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 - f) aggregates for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002 properties of aggregates used in concrete;
 - BS EN 13139:2002 Properties of aggregates used in mortar;
 - BS EN 13055 (Parts 1 & 2) properties of lightweight aggregates;
 - *Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 338 (2004) & 'Concrete Society Technical Report 30 (1997)';
 - g) lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
 - h) urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre free; calcium silicate bricks or tiles;
 - k) any products containing cadmium referred to in Statutory Instrument 'SI 2006/3311 Control on dangerous substances and preparations Regulations 2006'. Reference should also be made to 'HSE DGE391 Cadmium and you';
 - l) any new timber treated with pentachlorophenol;
 - m) non galvanneal mild steel structural fittings for building elements particularly susceptible to corrosion;
 - n) concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - o) materials containing chlorofluorocarbons (CFC's);
 - p) solvent based paints except where water based paints are unavailable for unavailable;
 - q) any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.



1 Condy Lofthouse South West Elevation (Front)
1:100 @ A2



Planning Condition No.2 Variation - March 2020

- Ⓢ Minor amendments 26-03-2020 / SAJ to Basement outline.
- Ⓐ Proposed Elevation 17-03-2020 / SAJ updated to suit drawing 19-092-150.
- ⊕ First Issue. 16-12-2019 / SAJ

REVISION DETAILS date / by

○ Preliminary

● For Approval

○ Tender

○ Construction

CLIENT

Westgate Healthcare Group Limited

PROJECT

Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE

Proposed Elevation Comparisons - Sheet 1 of 4

SCALE drawn by date

1:100@A2 SAJ Dec 2019

DRAWING NO. revision

19-092-055 Ⓢ



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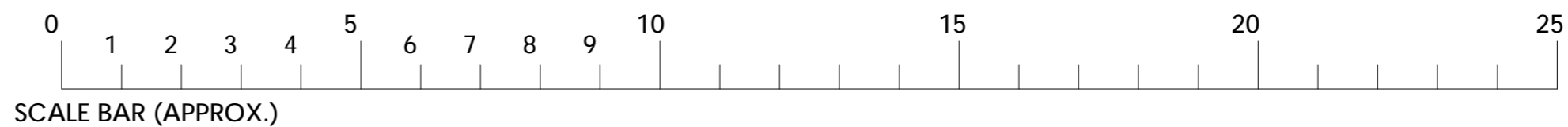


NOTE:
Elevation based on approved Alexander Sedgley drawing GA-11 PL7

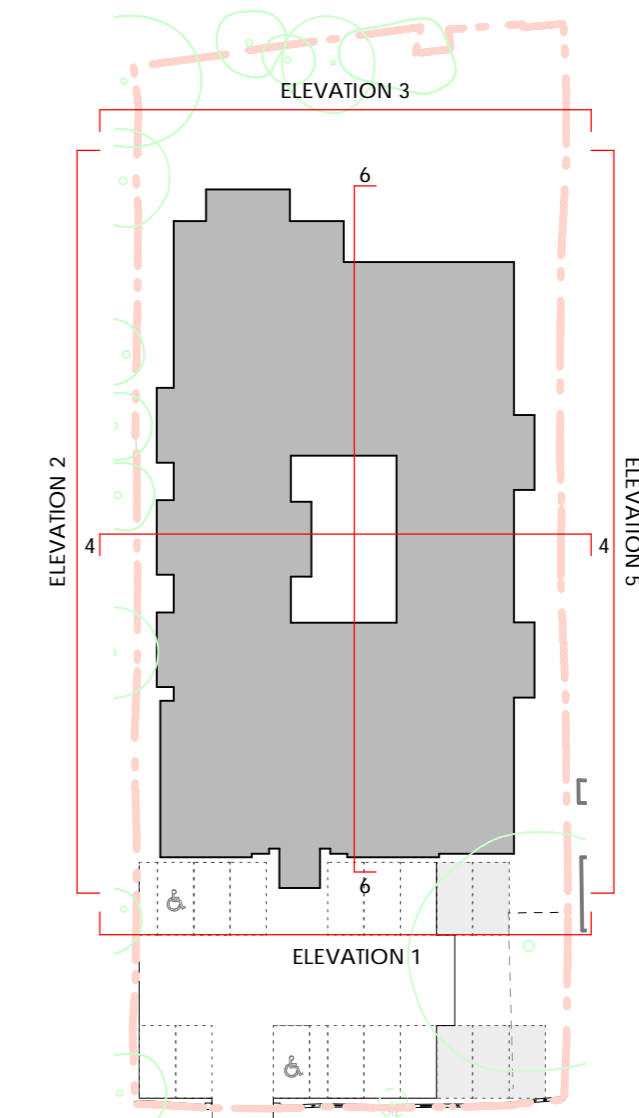
3 Alexander Sedgley North East Elevation (Rear)
1:100 @ A2



3 Condyl Lofthouse North East Elevation (Rear)
1:100 @ A2



KEY



- NOTES
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- Materials prohibited from use, except where used in accordance with 'Good Practice in the Selection of Construction Materials (March 2017)' or unless required by the Contract:
- a) High alumina cement in the structural elements;
 - b) wood wood slabs in permanent formwork to concrete;
 - c) calcium chloride admixtures for use in reinforced concrete;
 - d) asbestos or asbestos containing products, as defined in the 'Control of Asbestos at Work Regulations, as amended 2012' or any other statutory modification or re-enactment thereof;
 - e) any naturally occurring or man made mineral fibres (for example, rock wool or slag wool) with a thickness of 2 microns or less and a length of 200 microns or less, unless they are appropriately sealed to prevent migration of fibres;
 - f) aggregate for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002 properties of aggregates used in concrete;
 - BS EN 12620:2002 Properties of aggregates used in mortar;
 - BS EN 13055 (Parts 1 & 2) properties of lightweight aggregates;
 'Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 330 (2004) & 'Concrete Society Technical Report 30 (1997)';
 - g) lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
 - h) urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre free; calcium silicate bricks or tiles;
 - k) any products containing cadmium referred to in Statutory Instrument 'SI 2006/3311 Control on dangerous substances and preparations Regulations 2006'. Reference should also be made to 'HSE: EDG 911 Cadmium and you';
 - l) any new timber treated with pentachlorophenol;
 - m) non galvanneal mild steel structural fittings for building elements particularly susceptible to erosion;
 - n) concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - o) materials containing chlorofluorocarbons (CFC's);
 - p) solvent based paints except where water based paints are unsuitable for unavailable;
 - q) any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.

Planning Condition No.2 Variation - March 2020

- -
 - ⓐ Proposed Elevation 17-03-2020 / SAJ updated to suit drawing 19-092-150.
 - ⓑ First Issue. 16-12-2019 / SAJ
- REVISION DETAILS** date / by
- Preliminary
 - For Approval
 - Tender
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CLIENT
Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE
Proposed Elevation Comparisons - Sheet 3 of 4

SCALE drawn by date
1:100@A2 SAJ Dec 2019

DRAWING NO. revision
19-092-057 ⓐ



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NOTE:
Elevation based on approved Alexander Sedgley drawing GA-10 PL7

2 Alexandra Sedgley North West Elevation (Side)
1:100 @ A2

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- a) High alumina cement in the structural elements;
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 - c) calcium chloride admixtures for use in reinforced concrete;
 - d) asbestos or asbestos containing products, as defined in the 'Control of Asbestos at Work Regulations, as amended 2012' or any other statutory modification or re-enactment thereof;
 - e) any naturally occurring or man made mineral fibres (for example, rock wool or slag wool) with a thickness of 2 microns or less and a length of 200 microns or less, unless they are appropriately sealed to prevent migration of fibres;
 - f) aggregates for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002 Properties of aggregates used in concrete;
 - BS EN 12620:2002 Properties of aggregates used in mortar;
 - BS EN 12620:2002 Properties of lightweight aggregates;
 - 'Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 389 (2004) & 'Concrete Society Technical Report 30 (1997)';
 - g) lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
 - h) urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre free; calcium silicate bricks or tiles;
 - k) any products containing cadmium referred to in Statutory Instrument 'S.2006/3311 Control on dangerous substances and preparations Regulations 2006'. Reference should also be made to 'HSE IGD 911 Cadmium and you';
 - l) any new timber treated with pentachlorophenol;
 - m) non galvanneal mild steel structural fittings for building elements particularly susceptible to erosion;
 - n) concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - o) materials containing chlorofluorocarbons (CFC's);
 - p) solvent based paints except where water based paints are unsuitable for unavailable;
 - q) any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice in effect at the date of incorporation of the relevant materials into the Works or the specifications thereof.



2 Condry Lofthouse North West Elevation (Side)
1:100 @ A2

Planning Condition No.2 Variation - March 2020

- Ⓑ Minor amendments 26-03-2020 / SAJ to Basement outline.
- Ⓐ Proposed Elevation updated to suit drawing 19-092-150.
- ⊕ First Issue. 16-12-2019 / SAJ

REVISION DETAILS date / by

- Preliminary
- For Approval
- Tender
- Construction

CLIENT
Westgate Healthcare Group Limited

PROJECT
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ

DRAWING TITLE
Proposed Elevation Comparisons - Sheet 2 of 4

SCALE drawn by SAJ date Dec 2019

DRAWING NO. 19-092-056 revision Ⓑ

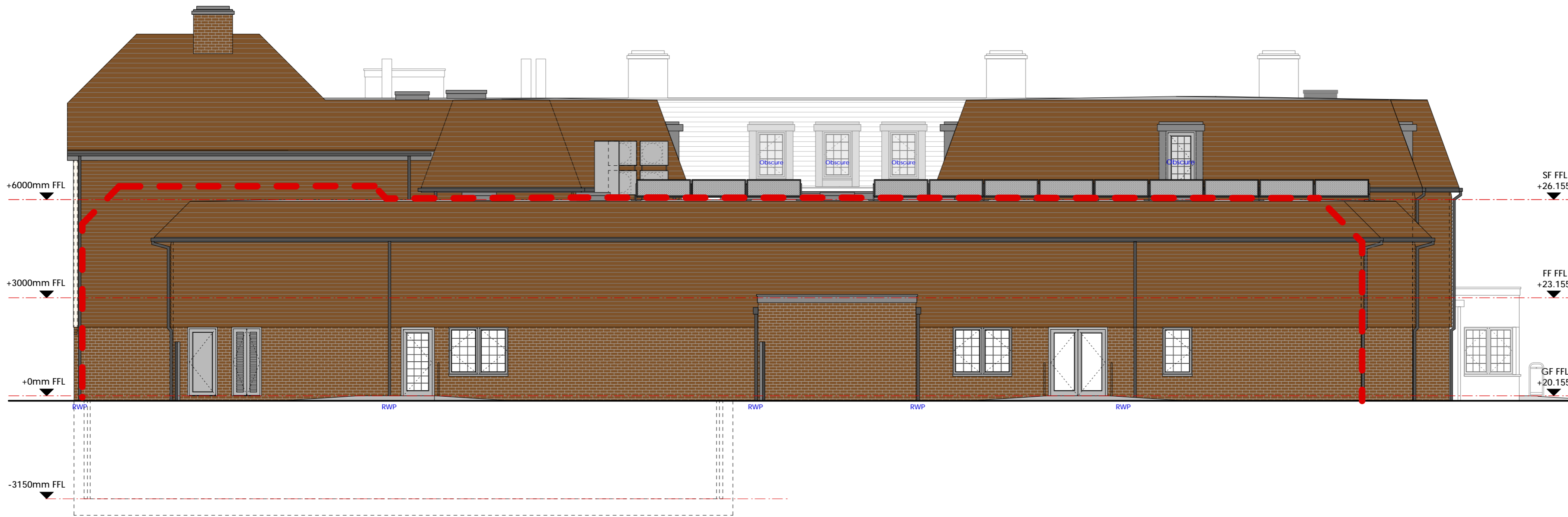


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NOTE:
Elevation based on approved Alexander Sedgley drawing GA-11 PL7

5 Alexander Sedgley South East Elevation (Facing Residential Neighbour)
1:100 @ A2



5 Condyl Lofthouse South East Elevation (Facing Residential Neighbour)
1:100 @ A2

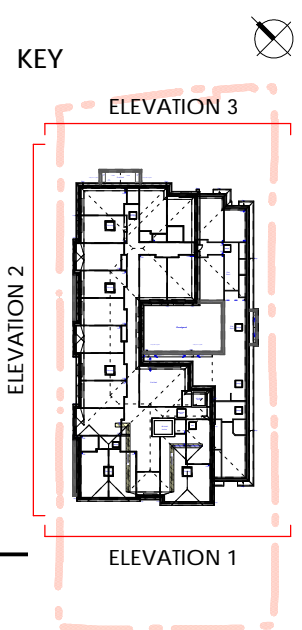


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- Materials prohibited from use, except where used in accordance with 'Good Practice in the Selection of Construction Materials (March 2017)' or unless required by the Contract:
- a) High alumina cement in the structural elements;
 - b) wood wool slabs in permanent formwork to concrete;
 - c) calcium chloride admixtures for use in reinforced concrete;
 - d) asbestos or asbestos containing products, as defined in the 'Control of Asbestos at Work Regulations, as amended 2012' or any other statutory modification or re-enactment thereof;
 - e) any naturally occurring or man-made mineral fibres (for example, rock wool or slag wool) with a thickness of 2 microns or less and a length of 200 microns or less, unless they are appropriately sealed to prevent migration of fibres;
 - f) aggregates for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002 Properties of aggregates used in concrete;
 - BS EN 12179:2002 Properties of aggregates used in mortar;
 - BS EN 12607:2002 Properties of lightweight aggregates;
 - 'Guidance on avoiding alkali-silica reaction and limitations on alkali content in BRE Digest 339 (2004) & 'Concrete Society Technical Report 30 (1997)';
 - g) lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
 - h) urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre free; calcium silicate bricks or tiles;
 - k) any products containing cadmium referred to in Statutory Instrument 'S.2006/3311 Control on dangerous substances and preparations Regulations 2006'. Reference should also be made to 'HSE EDG 911 Cadmium and you';
 - l) any new timber treated with pentachlorophenol;
 - m) non galvanneal mild steel structural fittings for building elements particularly susceptible to erosion;
 - n) concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - o) materials containing chlorofluorocarbons (CFC's);
 - p) solvent based paints except where water based paints are unsuitable for unavailable; any new materials used in accordance with statutory requirements, British Standards, Codes of Practice and good building practice in effect at the date of incorporation of the relevant materials into the Works or the specifications thereof.

- Planning Condition No.2 Variation - March 2020
- © Gas & Electric 26-03-2020 / SAJ cupboard doors revised. Minor amendments to Basement outline.
 - Ⓑ Proposed Elevation 19-03-2020 / SAJ updated to suit drawing 19-092-151.
 - Ⓐ Proposed Elevation 17-03-2020 / SAJ updated to suit drawing 19-092-151.
 - ⊕ First Issue. 16-12-2019 / SAJ
- REVISION DETAILS** gate / DV
- Preliminary
 - For Approval
 - Tender
 - Construction
- CLIENT**
Westgate Healthcare Group Limited
- PROJECT**
Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ
- DRAWING TITLE**
Proposed Elevation Comparisons - Sheet 4 of 4
- SCALE** drawn by SAJ date Dec 2019
- DRAWING NO.** 19-092-058 revision ©



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Element	Description	Proposed Material	Proposed Specification
01	Main facing brick	Clay stock brick	Forterra Farmstead Antique
02	Hanging tile	Clay tile	Redland Rosemary Clay Craftsmen, colour Victorian, Sanded / Granular, with feature tiles
03	Cladding to roof dormers	Metal sheet roll with timber backing	Lead
04	Metal coping	Aluminium	Powder coated aluminium, RAL 9005 Jet Black
05	Roof	Clay tile	Redland Rosemary Clay Craftsmen, colour Victorian, Sanded / Granular
06	Flat roof coverings	Single ply membrane	Dark Grey
07	Rainwater goods	uPVC	Black
08	Feature Chimneys	Clay stock brick	Forterra Farmstead Antique brick slips
09	Windows and doors	Aluminium	Powder coated aluminium, RAL 9005 Jet Black
10	Entrance communal doors	Aluminium	Powder coated aluminium, RAL 9005 Jet Black
11	Obscure glazing to Bathrooms & side elevation (south east) facing residential neighbour	Obscured glass	Pilkington Optifloat Opal
12	Render	Through coloured render	Off-white
13	Gas & Electric Cupboards	Aluminium	Powder coated aluminium, RAL 9005 Jet Black

1 Proposed South West Elevation (Front)
1:200 @ A1



2 Proposed North West Elevation (Side)
1:200 @ A1



3 Proposed North East Elevation (Rear)
1:200 @ A1

SCALE 1:200@A3
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CLIENT: Westgate Healthcare Group Limited
PROJECT: Burford House, Rickmansworth Road, Chorleywood, WD3 5SQ
DRWG TITLE: PROPOSED FACING MATERIALS SCHEDULE

- Preliminary
- For Approval
- Tender
- Construction

Planning Condition No.2 Variation - March 2020

Job No. 19-092

D7.2H

H Gas & Electric cupboard doors changed to Aluminium. 26-03-2020